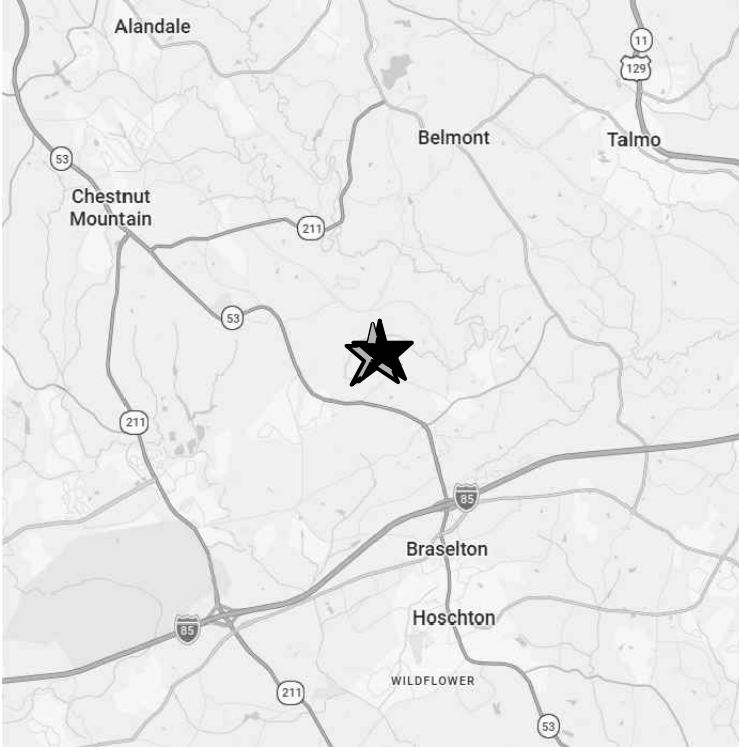




LOCATION MAP:



LOT LOCATION MAP:



NOT TO SCALE



SHEET INDEX:

ARCHITECTURAL

A-0.0	Cover Sheet	A-5.1	Details
A-1.1	Site Plan	A-5.2	Details
A-2.1	Basement Floor Plan	A-5.3	Details
A-2.2	1st Floor Plan	A-6.1	Interior Elevations
A-2.3	2nd Floor Plan	A-6.2	Interior Elevations
A-2.4	Roof Plan	E-1	Electrical
A-3.1	Exterior Elevations	E-2	Electrical
A-3.2	Exterior Elevations	E-3	Electrical
A-3.3	Exterior Elevations		
A-4.1	Bldg. Sections		
A-4.2	Bldg. Sections		
A-4.3	Bldg. Sections		

OWNER:

DESIGN:

GENERAL NOTES:

- THESE GENERAL NOTES APPLY TO EACH SHEET.
- THESE DRAWINGS ARE PART OF A SET OF CONSTRUCTION DOCUMENTS.
- VERIFY THAT ALL CONDITIONS ALLOW FOR CONSTRUCTION AS INDICATED IN THE CONSTRUCTION DOCUMENTS.
- CONTRACTOR SHALL NOTIFY THE ARCHITECT OF RECORD OF ANY AND ALL OMISSIONS, CONFLICTS, ERRORS OR DISCREPANCIES AS SOON AS THEY ARE DISCOVERED AND PRIOR TO CONTINUING WITH THE WORK.
- ALL DIMENSIONS ARE TO THE FACE OF STUD, EDGE OF SLAB, OR CENTER OF OPENINGS UNLESS SPECIFICALLY INDICATED OR NOTED OTHERWISE.
- GANG ALL VENTS THROUGH ROOF AS MUCH AS POSSIBLE TO MINIMIZE ROOF PENETRATIONS.
- ALL EXTERIOR WALLS 2X6 WOOD FRAMING WITH R-23 INSULATION
- ALL INTERIOR WALLS 2X4 WOOD FRAMING UNLESS NOTED OTHERWISE.
- ALL PLUMBING WALLS BEHIND TOILETS AND LAVATORIES SHALL BE 2x6.
- ROOF INSULATION R-38
- REFERENCE STRUCTURAL DRAWINGS FOR SIZING OF STRUCTURAL MEMBERS.
- PROVIDE CONCEALED WOOD BLOCKING AT ALL WALL HUNG AND CEILING MOUNTED ITEMS.
- SIZES GIVEN IN THESE CONSTRUCTION DOCUMENTS ARE NOMINAL UNLESS INDICATED OR NOTED OTHERWISE. VERIFY EXACT SIZES BEFORE PLACING ORDERS.
- COORDINATE THE PROVISION AND INSTALLATION OF SECURITY AND AUDIO/VISUAL SYSTEMS w/OWNER.
- PROVIDE MATERIALS AND CONSTRUCTION THAT MEET OR EXCEED THE STANDARDS SET BY APPLICABLE QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCIES AND NATIONALLY RECOGNIZED TRADE STANDARDS.
- CONTRACTOR SHALL ENSURE ALL WORK COMPLIES WITH THE CURRENT INTERNATIONAL AND LOCAL BUILDING CODE REGULATIONS. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON DRAWINGS.

SYMBOL LEGEND:

	EXTERIOR ELEVATIONS
	BUILDING SECTION
	INTERIOR ELEVATION
	LARGER SCALE PLAN DETAIL
	DETAIL
	NEW WINDOW KEY
	DOOR KEY
	SECTION

SQUARE FOOTAGES:

CONDITIONED AREA	
1st FLOOR	4,148 s.f.
2nd FLOOR	2,467 s.f.
TOTAL	6,615 s.f.
NON CONDITIONED AREA	
1st FLOOR	2,744 s.f.
TOTAL	2,744 s.f.
TOTAL COVERED AREA	9,358 s.f.

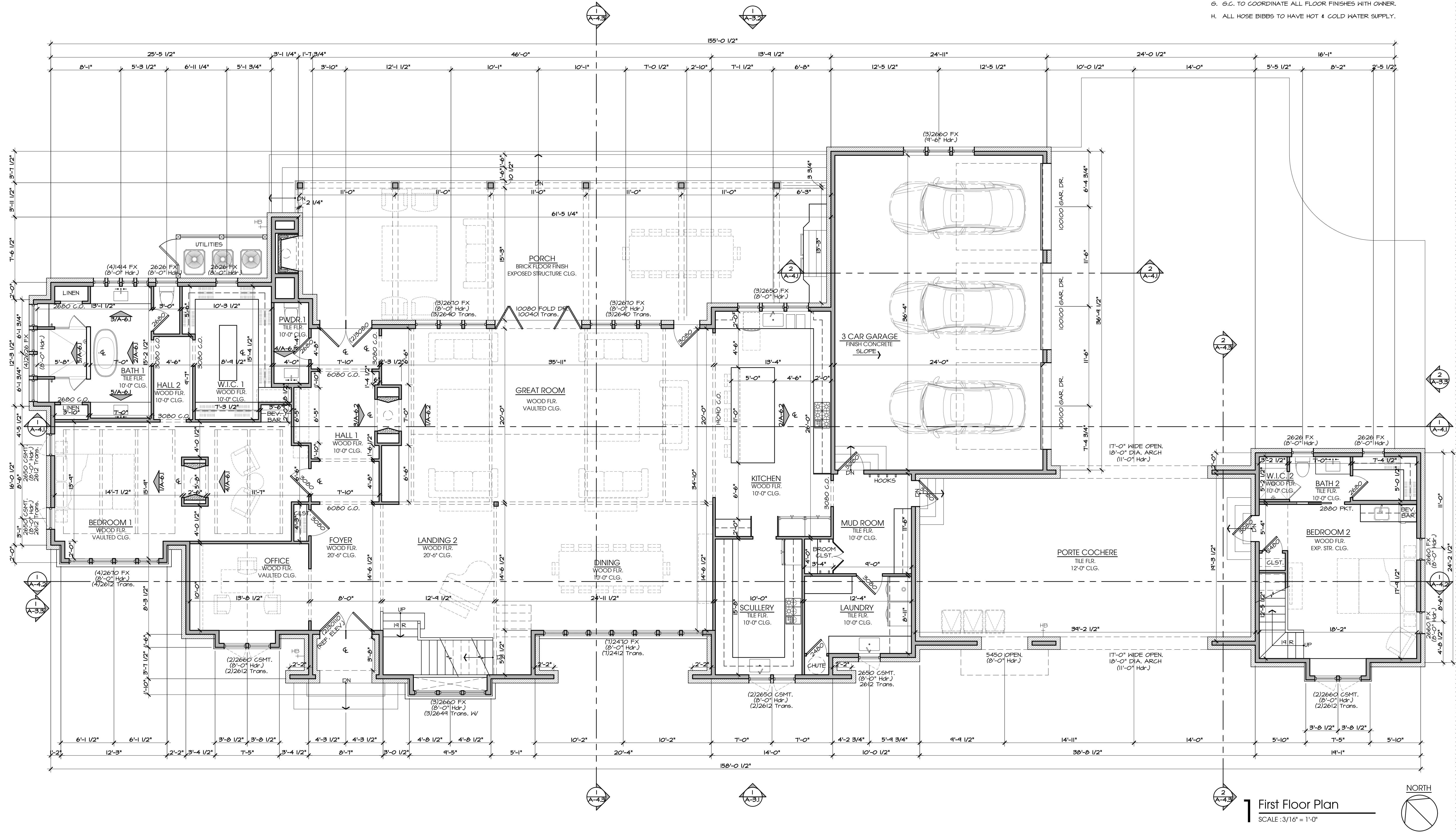
Borza Residence
384 Curk Roberts Rd

BORZA
RESIDENCE

384 Curk Roberts Rd.
Braselton, GA 30517

General Notes

- A. ALL EXTERIOR WALLS SHALL BE SHALL BE 2X6 CONSTRUCTION UNLESS OTHERWISE NOTED.
- B. ALL PLUMBING WALLS BEHIND TOILETS & LAVATORIES SHALL BE 2X6.
- C. ALL INTERIOR WALLS TO BE 2X 4 UNLESS OTHERWISE NOTED.
- D. NOMINAL DOOR & WINDOW SIZES NOTED ON PLANS. VERIFY ROUGH OPENING REQUIREMENTS WITH DOOR/ WINDOW MANUFACTURER. VERIFY WINDOW TYPE, EXTERIOR & INTERIOR DOOR TYPE WITH OWNER. GLASS TO BE INSULATED.
- E. G.C. MEET OR EXCEED ALL APPLICABLE CODES PROVIDE A WATERPROOF ENVELOPE.
- F. G.C. TO COORDINATE HOSE BIBB LOCATIONS WITH OWNER.
- G. G.C. TO COORDINATE ALL FLOOR FINISHES WITH OWNER.
- H. ALL HOSE BIBBS TO HAVE HOT & COLD WATER SUPPLY.



1 First Floor Plan
SCALE: 3/16" = 1'-0"



SHEET HISTORY

NOTE: Revisions are inclusive. Revisions below may or may not be applicable to this sheet.

PRINTED:
Apr 28, 2026

SHEET

A-2.2

Floor Plans

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RESIDENCE

384 Curk Roberts Rd.
Braselton, GA 30517

General Notes

- A. ALL EXTERIOR WALLS SHALL BE SHALL BE 2X6 CONSTRUCTION UNLESS OTHERWISE NOTED.
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SHEET HISTORY

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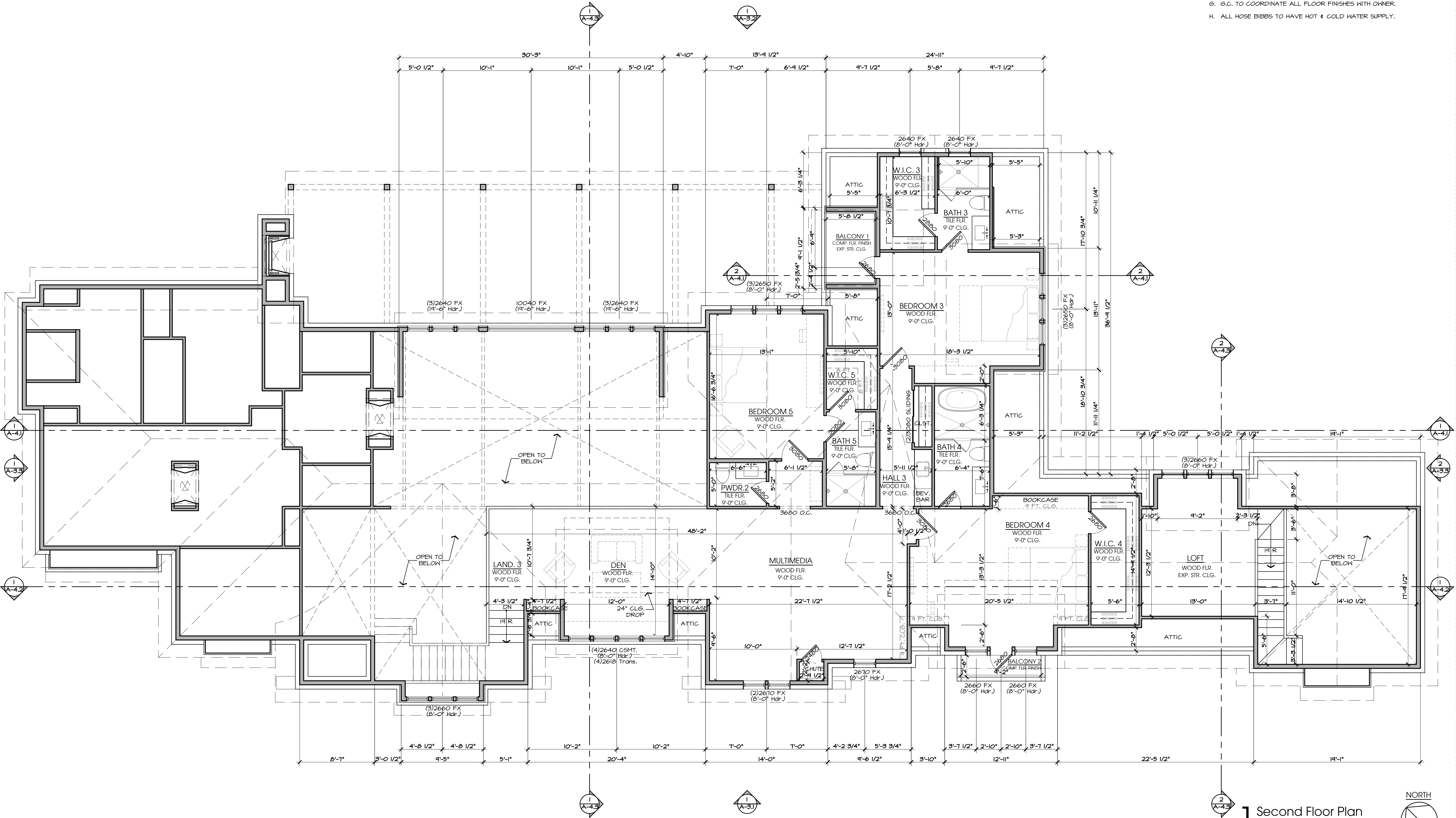
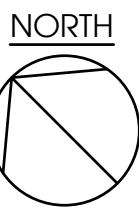
PRINTED:
Apr 23, 2026

SHEET

A-2.3

Floor Plans

1 Second Floor Plan
SCALE : 3/16" = 1'-0"

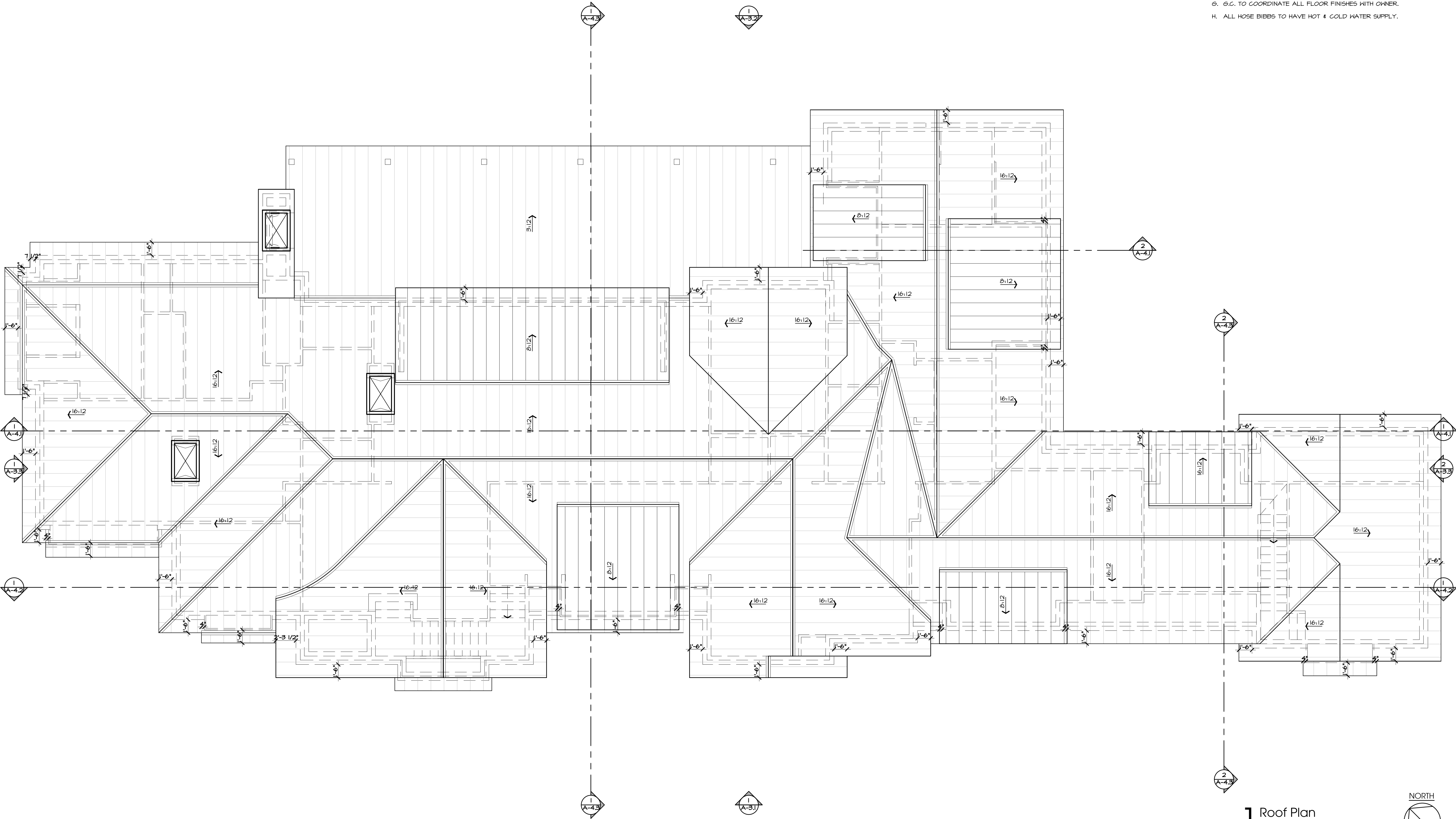


BORZA
RESIDENCE

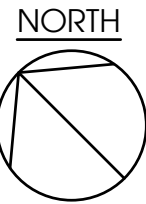
384 Curk Roberts Rd.
Braselton, GA 30517

General Notes

- A. ALL EXTERIOR WALLS SHALL BE SHALL BE 2X6 CONSTRUCTION UNLESS OTHERWISE NOTED.
- B. ALL PLUMBING WALLS BEHIND TOILETS & LAVATORIES SHALL BE 2X6.
- C. ALL INTERIOR WALLS TO BE 2X 4 UNLESS OTHERWISE NOTED.
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- E. S.C. MEET OR EXCEED ALL APPLICABLE CODES PROVIDE A WATERPROOF ENVELOPE.
- F. S.C. TO COORDINATE HOSE BIBB LOCATIONS WITH OWNER.
- G. S.C. TO COORDINATE ALL FLOOR FINISHES WITH OWNER.
- H. ALL HOSE BIBBS TO HAVE HOT & COLD WATER SUPPLY.



1 Roof Plan
SCALE : 3/16" = 1'-0"



SHEET HISTORY

NOTE: Revisions are inclusive. Revisions below may or may not be applicable to this sheet.

PRINTED:
Apr 22, 2026

SHEET

A-2.4

Floor Plans

BORZA
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384 Curk Roberts Rd.
Braselfton, GA 30517

General Notes

- A. ALL TRIM WILL BE 1.5" THICK TYPICAL IN ALL WINDOW/DOOR TRIM, CORNER BOARDS, BELT COURSES, ETC. (EXCEPT AS NOTED).
- B. ALL RAFTER TAILS WILL BE EXPOSED TYPICAL.

KEYNOTES

1. ARCHITECTURAL ASPHALT ROOF SHINGLES
2. TREATED WOODEN FASCIA BOARD WITH SLOPED T&G SOFFIT (RAKED EAVE)
3. BRICK WALL
4. BRICK SOLDIER COURSE
5. 1.5"X 5.5" THICK ARTISAN FIBER-CEMENT TRIM
6. 1.5"X 5.5" THICK ARTISAN FIBER-CEMENT BOARD CORNER TRIM
7. BAND TRIM COMPOSED OF ARTISAN FIBER-CEMENT TRIM 1.5" THICK (VARIABLE THICKNESS REF. ELEVATIONS)
8. TREATED WOOD CLADDING
9. TREATED 6X6 WD. BRACKET
10. TREATED WOOD GUARD RAIL
11. TREATED BEAM, REF. STRUCTURAL
12. BRICK STEPS
13. TREATED 8" WOOD COLUMN
14. LIGHT FIXTURE
15. 5'-0" TALL SCREEN WALL
16. VERTICAL BOARD & BATTEN SIDING (1.5" WIDE BATTENS AT 12" O.C.)
17. TREATED WOOD CORBEL
18. TREATED WOOD LOUVERS
19. 2" DIA. STEEL GUARDRAIL
20. ROOF CRICKET (MATCHING KEYNOTE 1)
21. ALUMINUM STANDING SEAM ROOF



1 Front Elevation
SCALE : 3/16" = 1'-0"

SHEET HISTORY

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PRINTED:
Apr 22, 2026

SHEET

A-3.1

Exterior Elevations

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RESIDENCE

384 Curk Roberts Rd.
Braselfton, GA 30517

General Notes

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- B. ALL RAFTER TAILS WILL BE EXPOSED TYPICAL.

KEYNOTES

1. ARCHITECTURAL ASPHALT ROOF SHINGLES
2. TREATED WOODEN FASCIA BOARD WITH SLOPED T&G SOFFIT (RAKED EAVE)
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17. TREATED WOOD CORBEL
18. TREATED WOOD LOUVERS
19. 2" DIA. STEEL GUARDRAIL
20. ROOF CRICKET (MATCHING KEYNOTE 1)
21. ALUMINUM STANDING SEAM ROOF



1 South Elevation
SCALE :3/16" = 1'-0"

SHEET HISTORY

NOTE: Revisions are inclusive. Revisions below may or may not be applicable to this sheet.

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Apr 23, 2026

SHEET

A-3.2

Exterior Elevations

BORZA
RESIDENCE

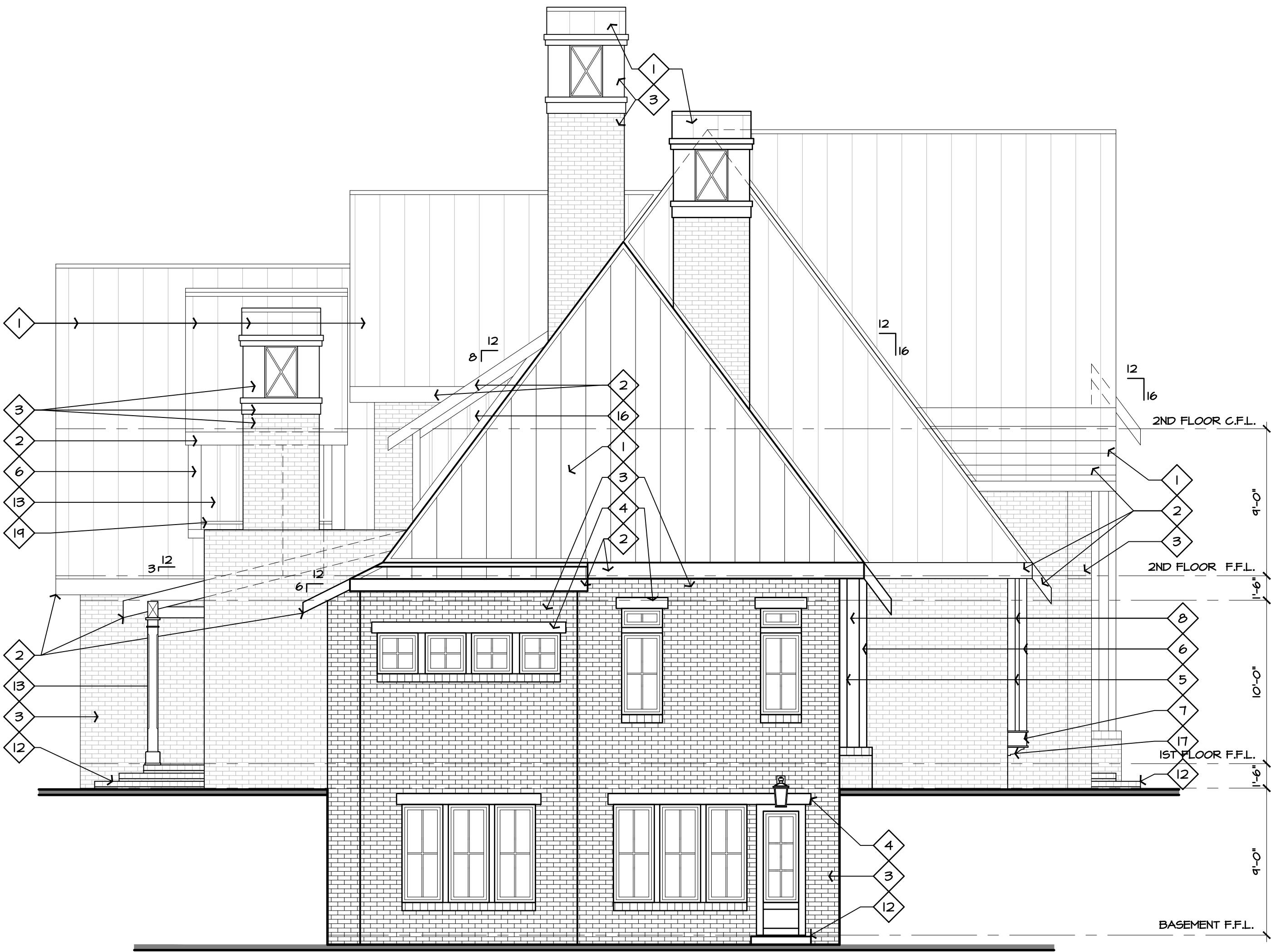
384 Curk Roberts Rd.
Braselfton, GA 30517

General Notes

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- B. ALL RAFTER TAILS WILL BE EXPOSED TYPICAL.

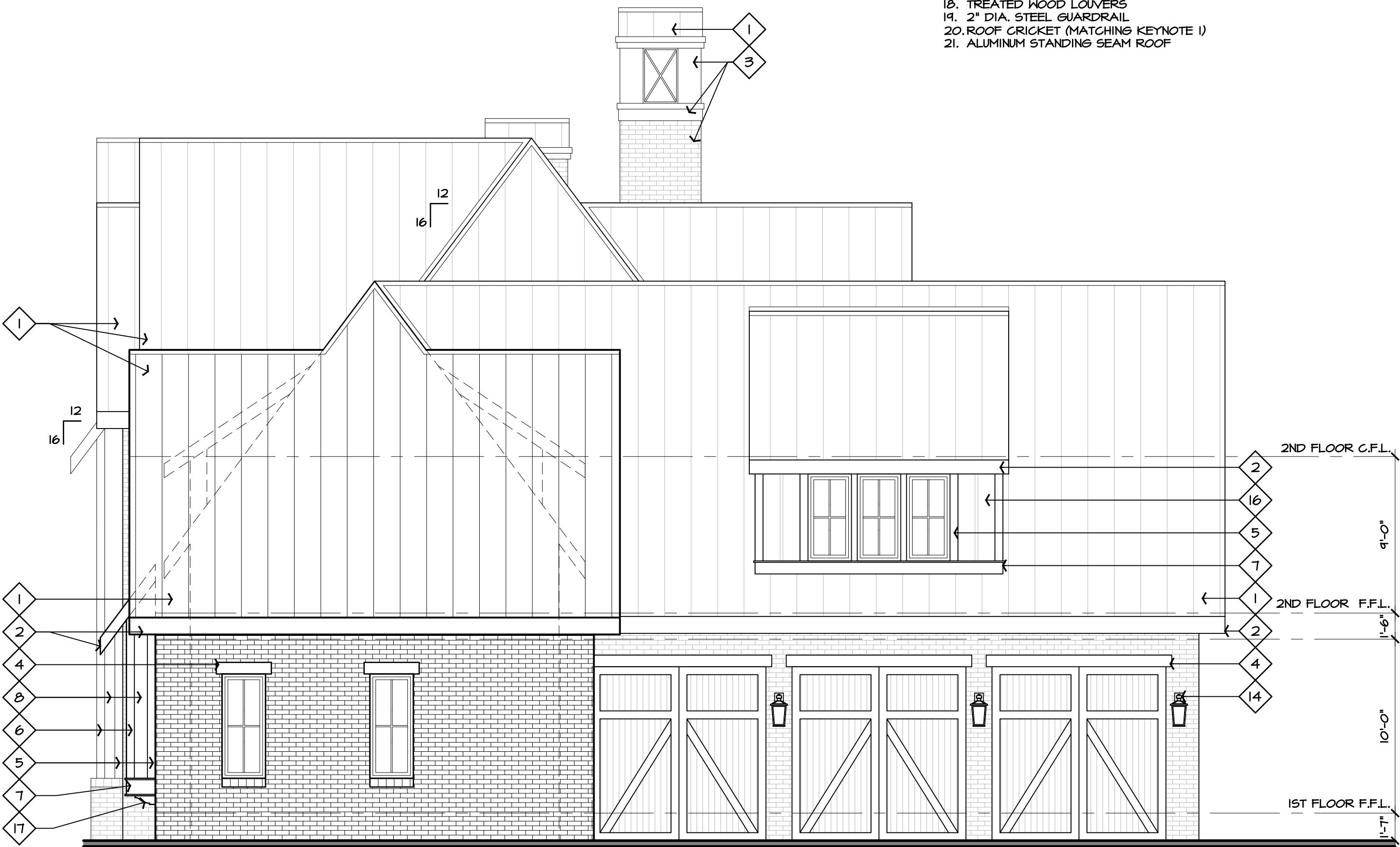
KEYNOTES

1. ARCHITECTURAL ASPHALT ROOF SHINGLES
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12. BRICK STEPS
13. TREATED 8" WOOD COLUMN
14. LIGHT FIXTURE
15. 5'-0" TALL SCREEN WALL
16. VERTICAL BOARD 4 BATTEN SIDING (1.5" WIDE BATTENS AT 12" O.C.)
17. TREATED WOOD CORBEL
18. TREATED WOOD LOUVERS
19. 2" DIA. STEEL GUARDRAIL
20. ROOF CRICKET (MATCHING KEYNOTE 1)
21. ALUMINUM STANDING SEAM ROOF



1 Side Elevation

SCALE : 3/16" = 1'-0"



2 Side Elevation

SCALE : 3/16" = 1'-0"

SHEET HISTORY

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A-3.3

Exterior Elevations

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384 Curk Roberts Rd,
Braselfton, GA 30517

SHEET HISTORY

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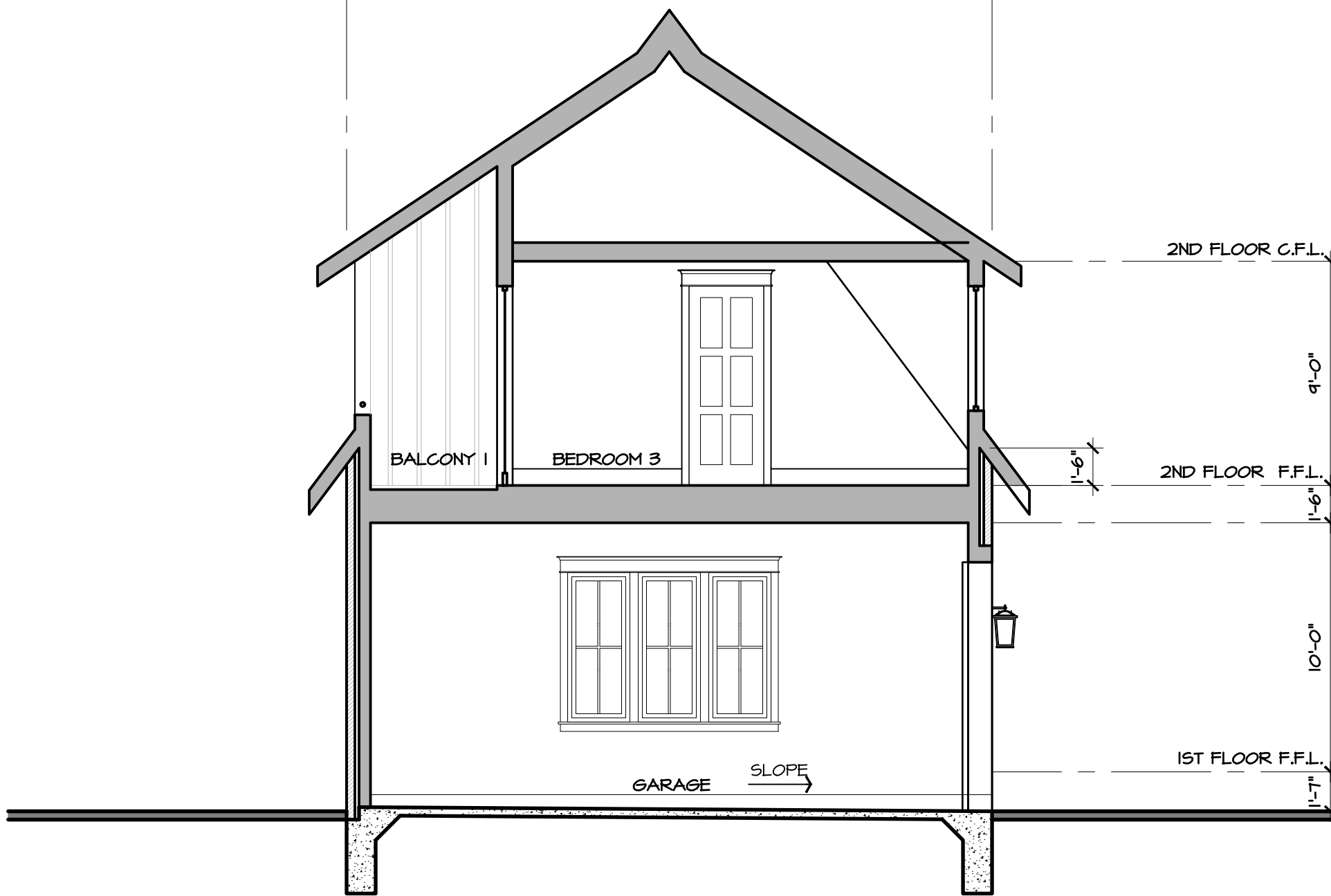
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A-4.1

Building Sections



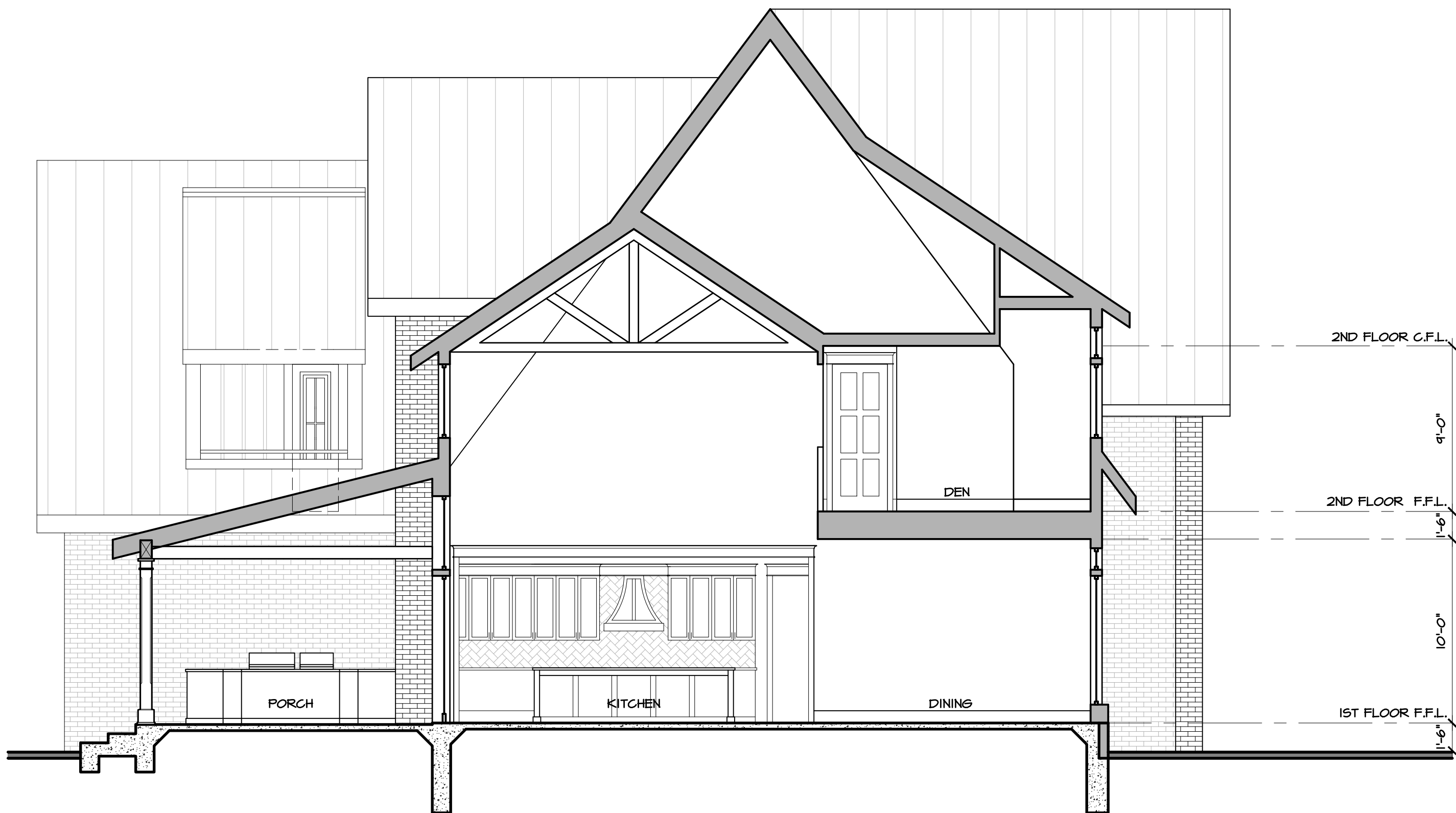
1 Building Section
SCALE : 3/16" = 1'-0"



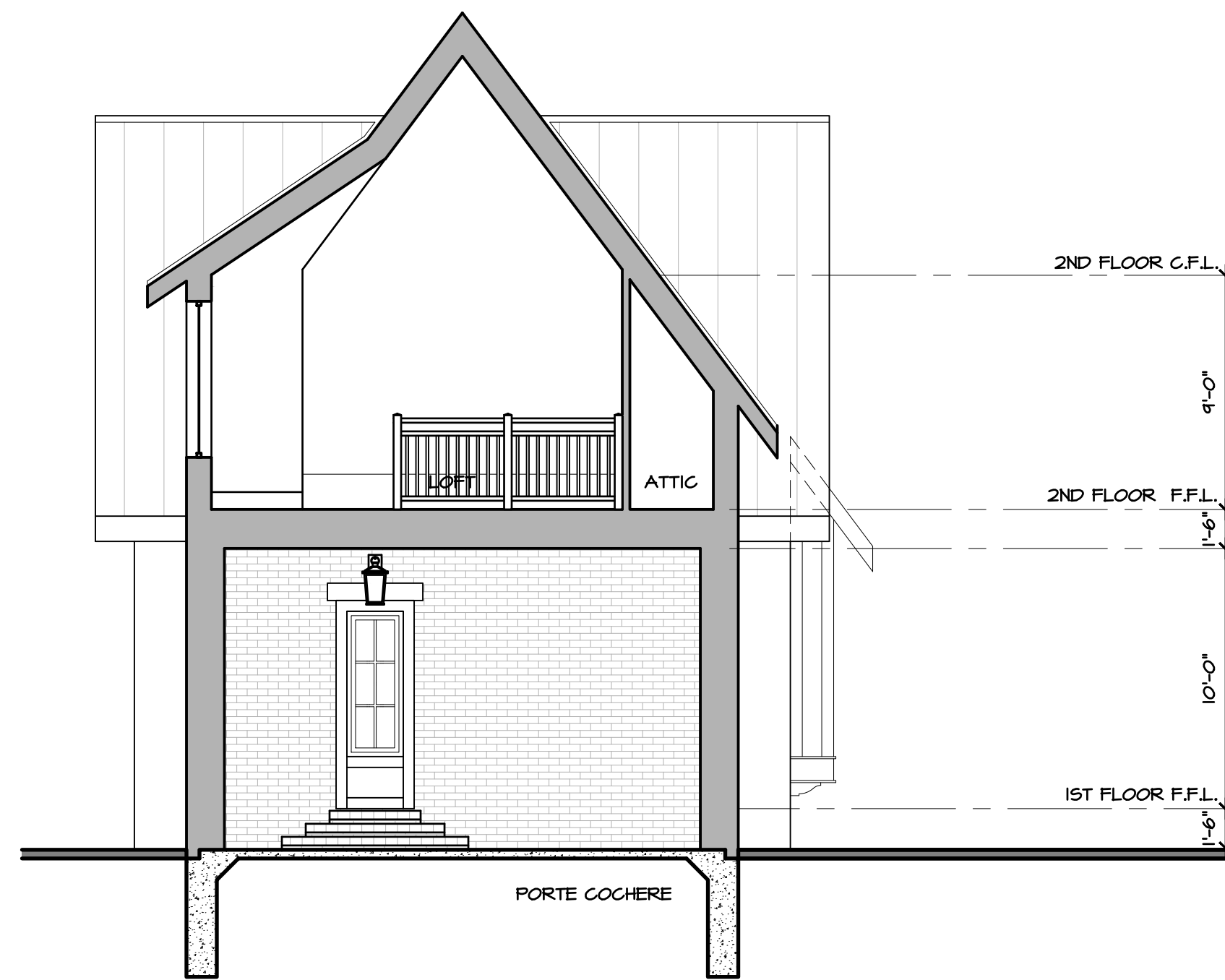
2 Building Section
SCALE : 3/16" = 1'-0"

BORZA
RESIDENCE

384 Curk Roberts Rd,
Braselton, GA 30517



1 Building Section
SCALE : 3/16" = 1'-0"



2 Building Section
SCALE : 3/16" = 1'-0"

SHEET HISTORY

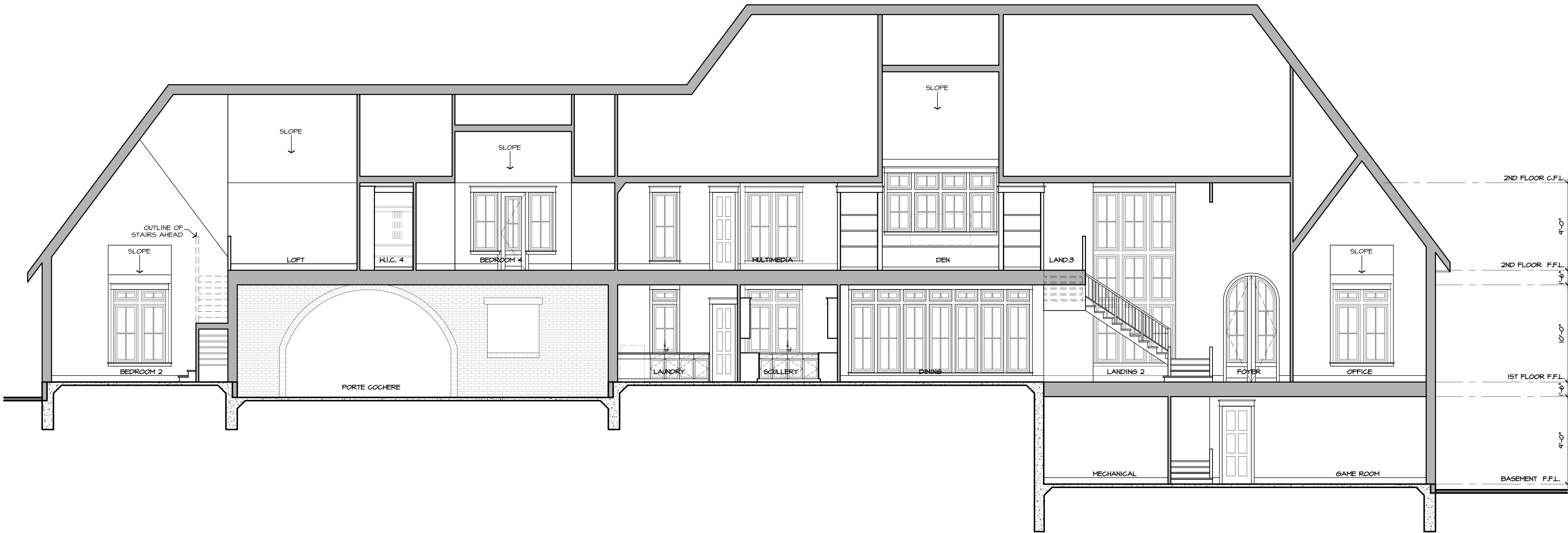
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BORZA
RESIDENCE

384 Curk Roberts Rd.
Braselfton, GA 30517



1 Building Section
SCALE : 3/16" = 1'-0"

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A-4.2

Building Sections

BORZA
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384 Curk Roberts Rd.
Boswellton, GA 30517

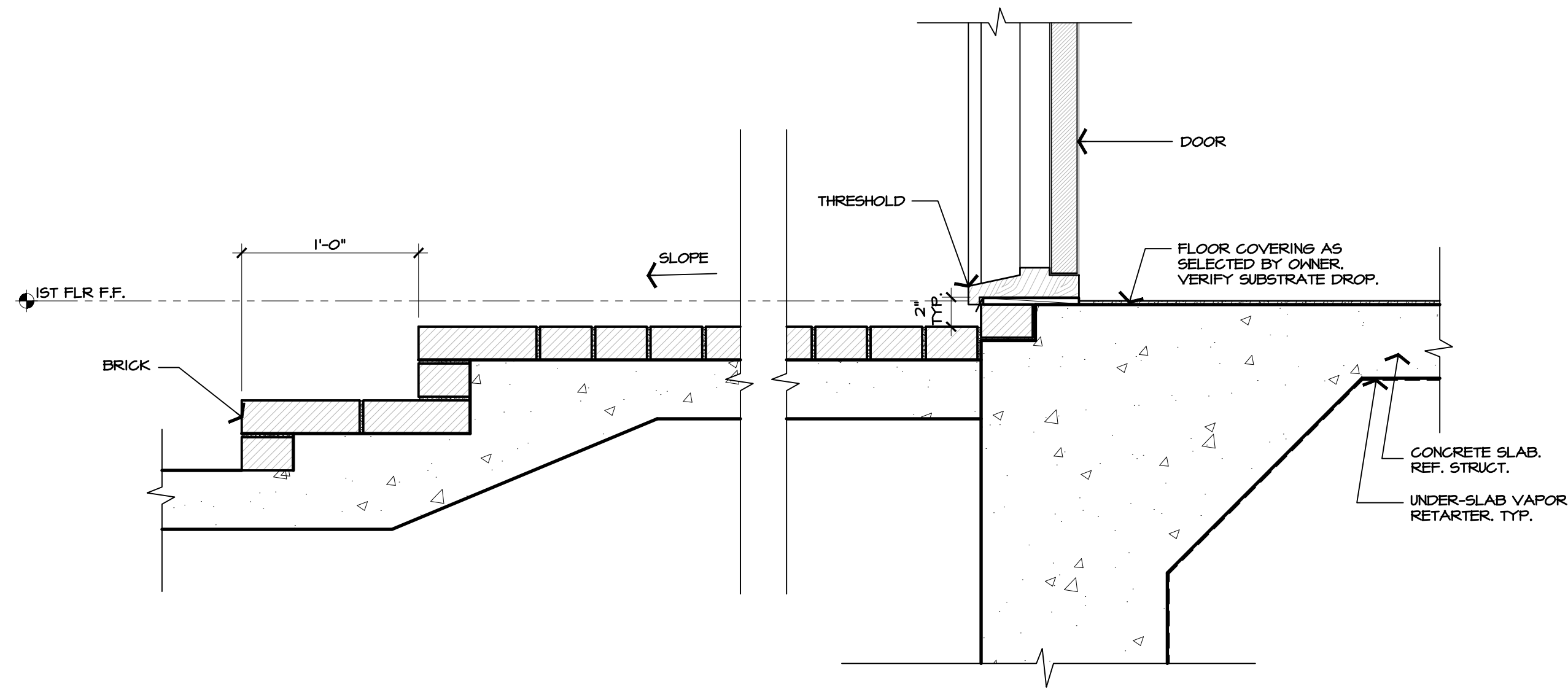
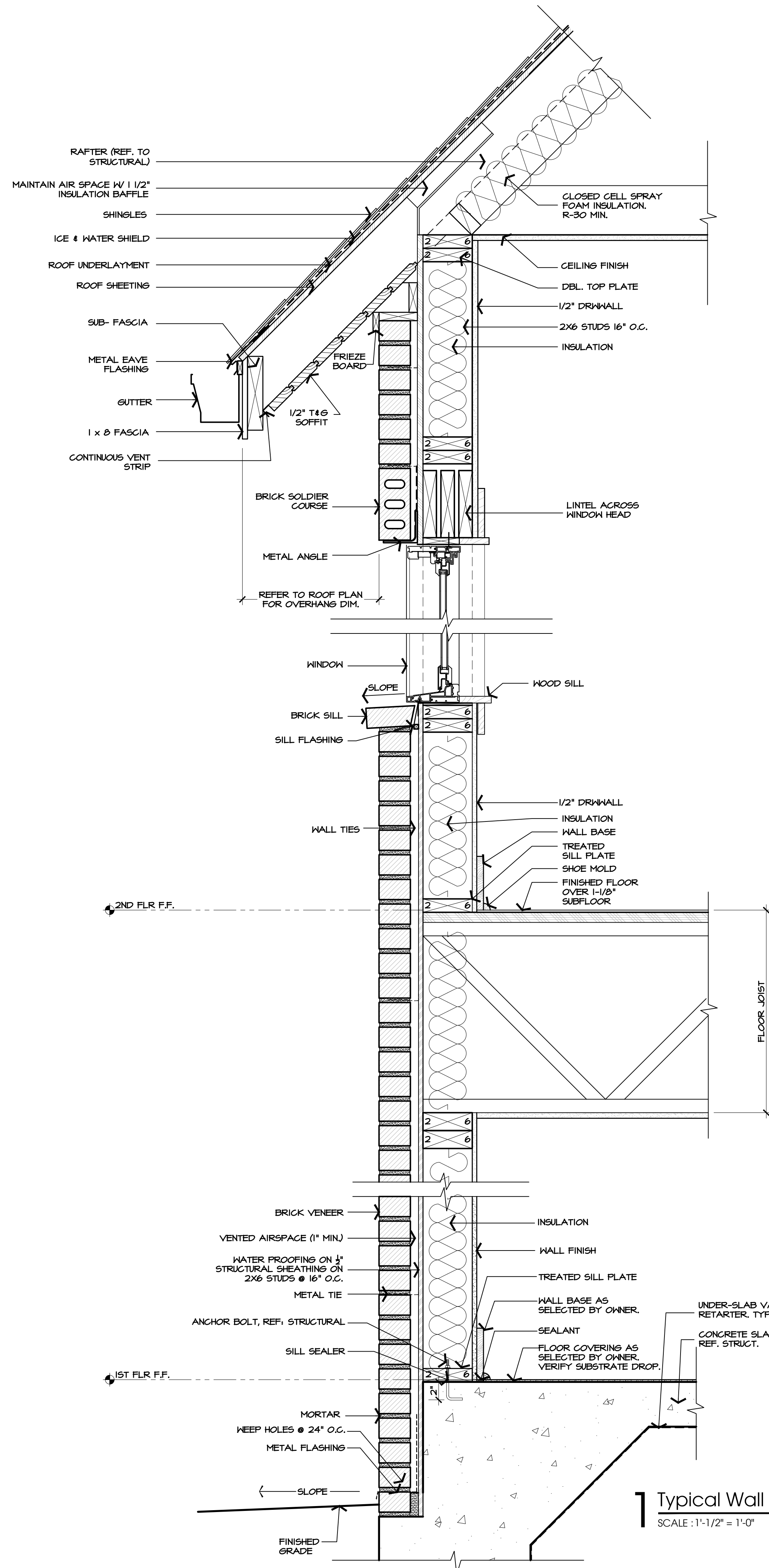
SHEET HISTORY

NOTE: Revisions are inclusive. Revisions below
may or may not be applicable to this sheet.

PRINTED:
Apr 21, 2026

SHEET

A-5.1
Details



BORZA
RESIDENCE

384 Curk Roberts Rd.
Boswellton, GA 30517

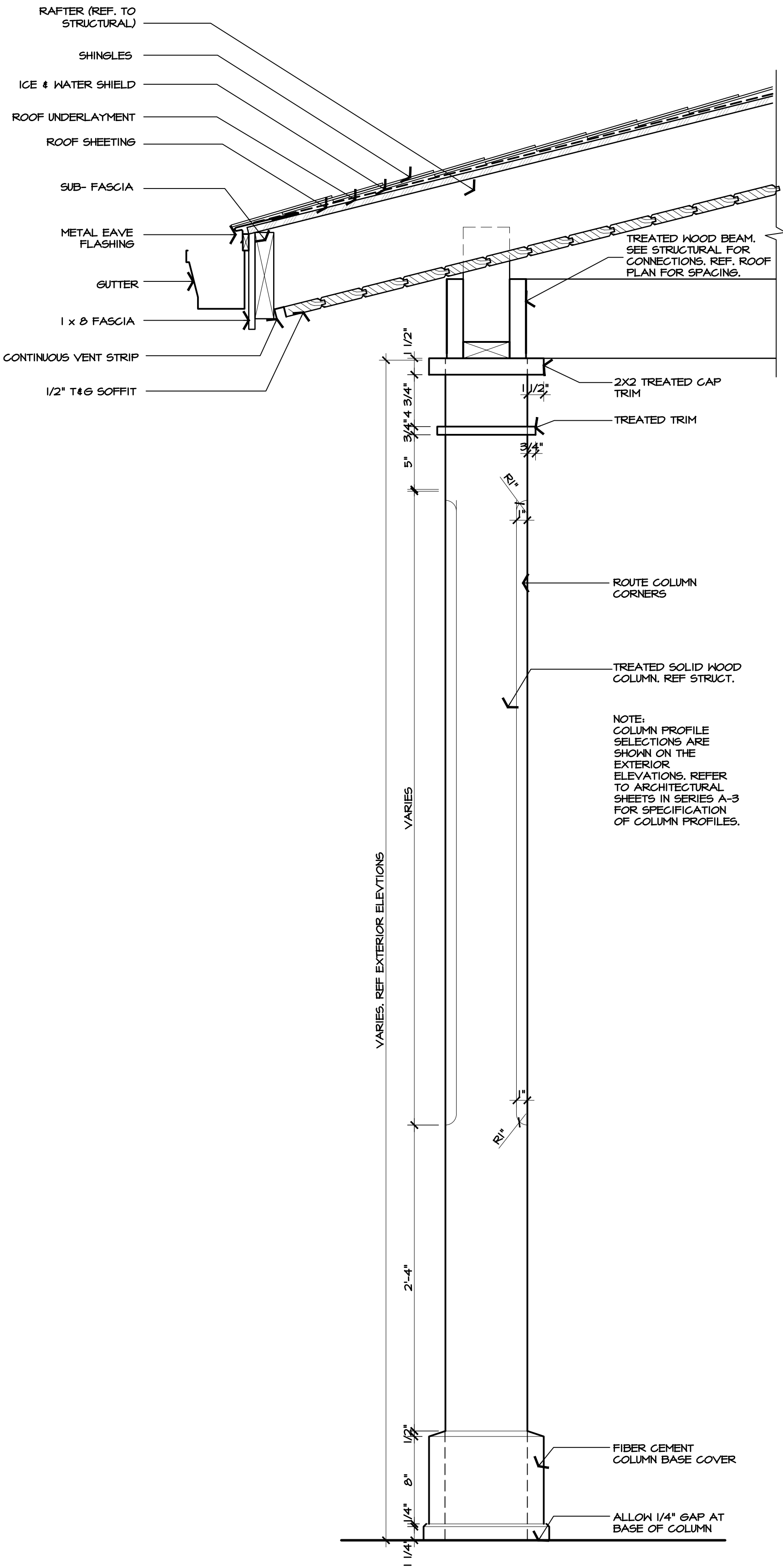
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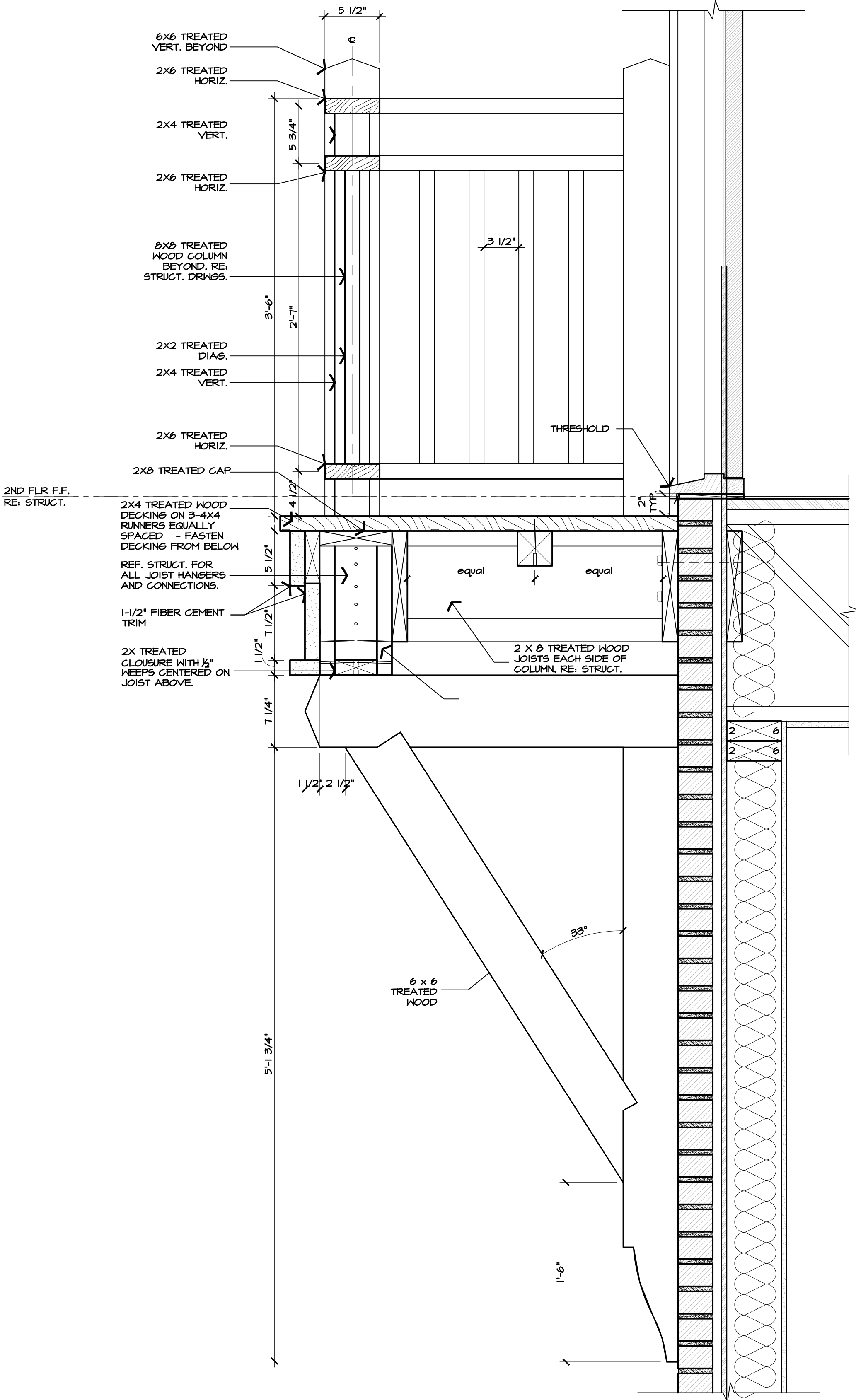
PRINTED:
Apr 23, 2026

SHEET

A-5.2
Details



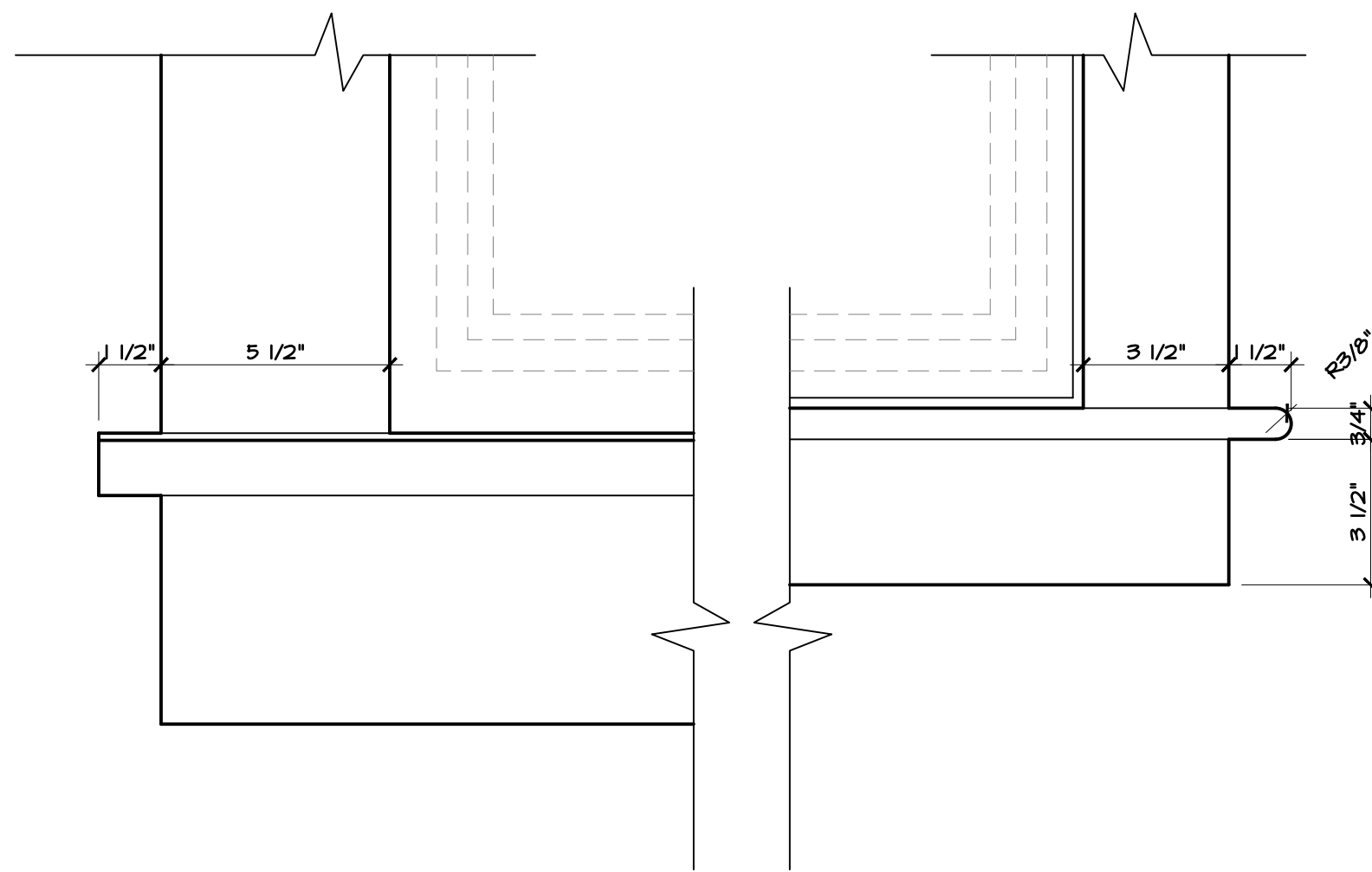
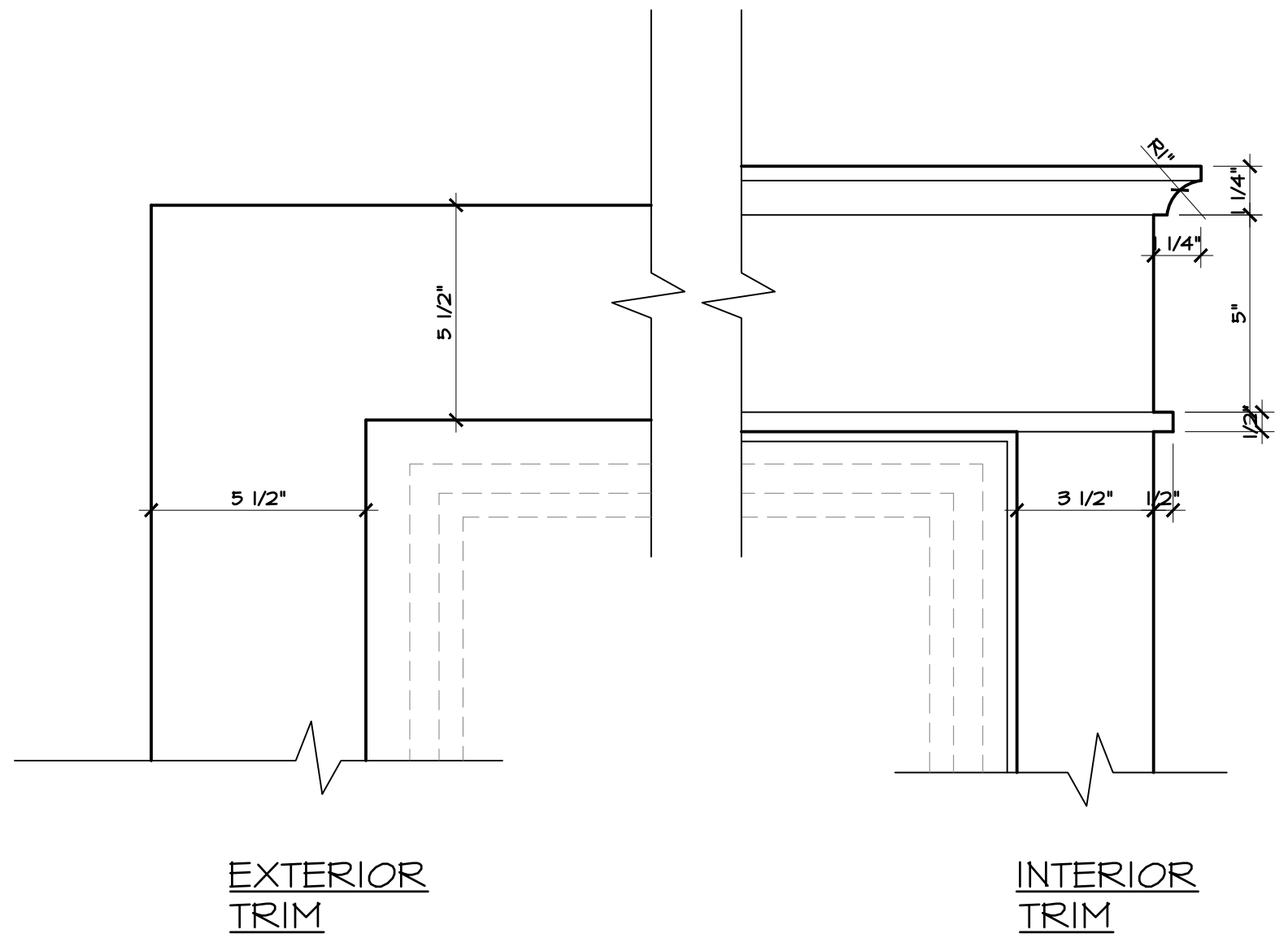
3 Porch Column Profile
SCALE : 1-1/2" = 1'-0"



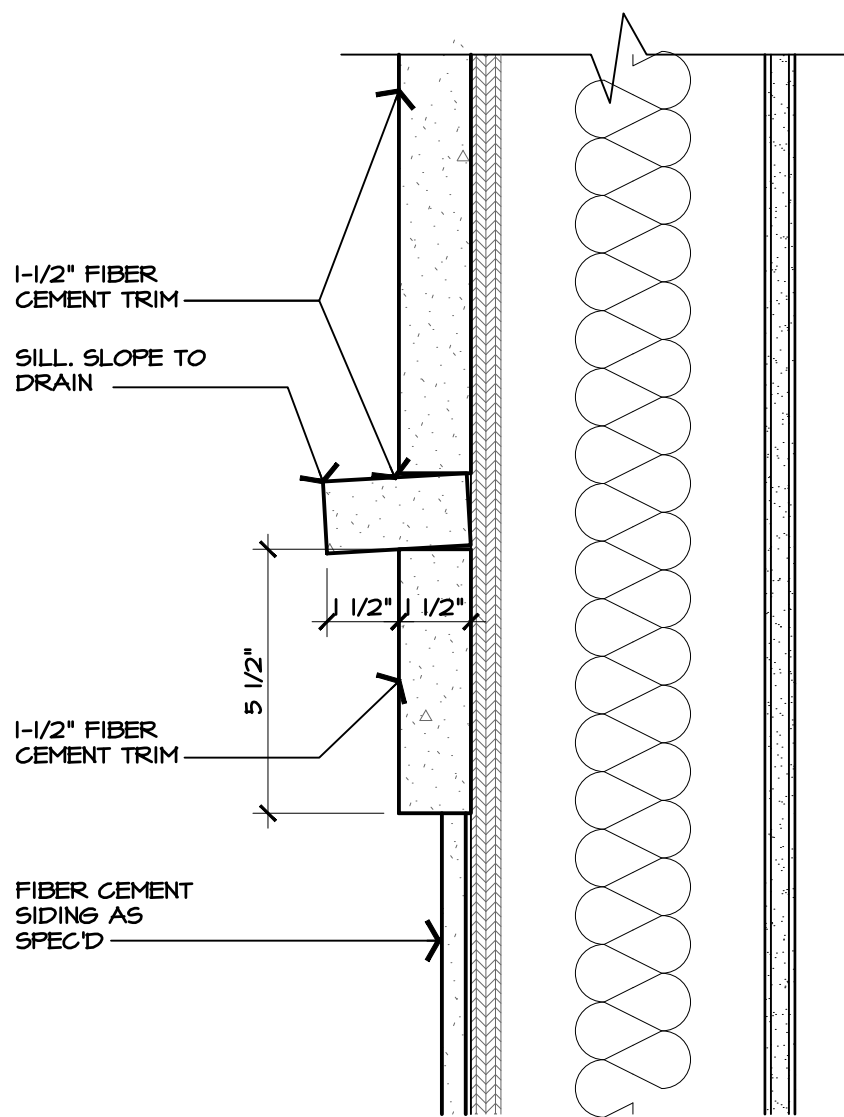
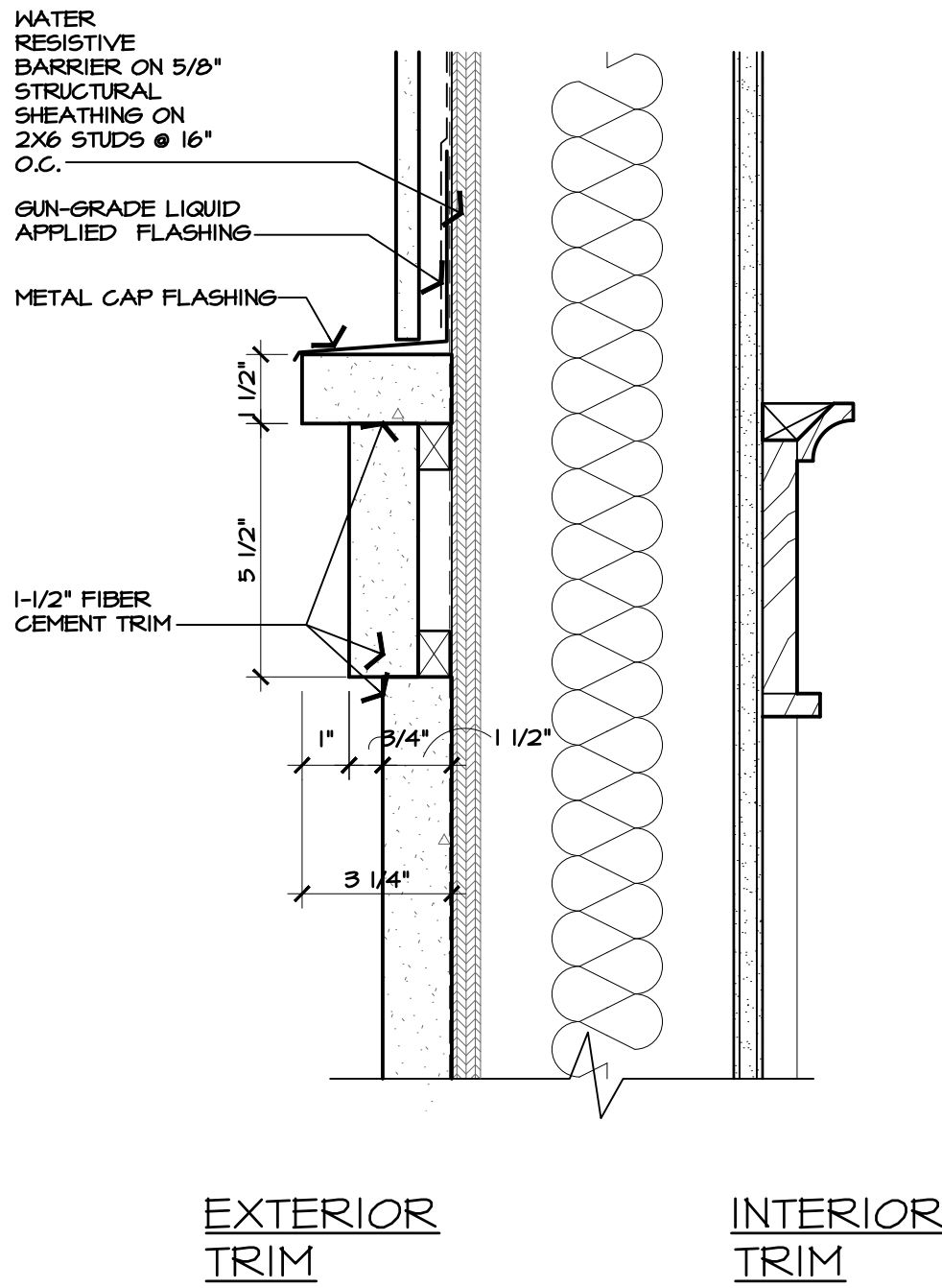
4 Balcony/ Bracket Detail
SCALE : 1-1/2" = 1'-0"

BORZA
RESIDENCE

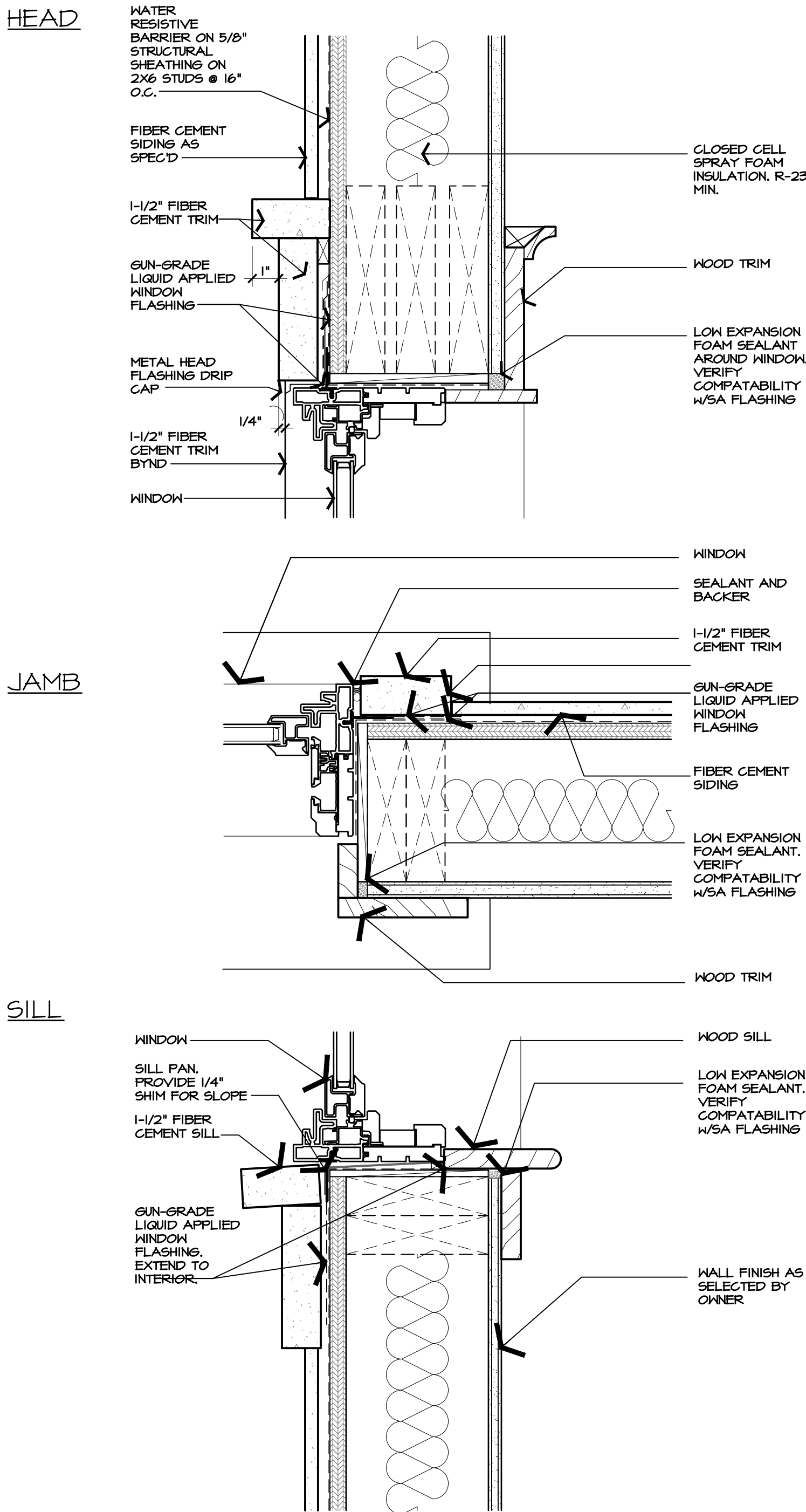
384 Curk Roberts Rd,
Braselfton, GA 30517



1 Window Trim - Elevation
SCALE : 3" = 1'-0"



2 Window Trim - Section
SCALE : 3" = 1'-0"



3 Window Flashing - Section/Detail
SCALE : 3" = 1'-0"

SHEET HISTORY

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SHEET

BORZA
RESIDENCE

384 Curk Roberts Rd.
Braselfton, GA 30517

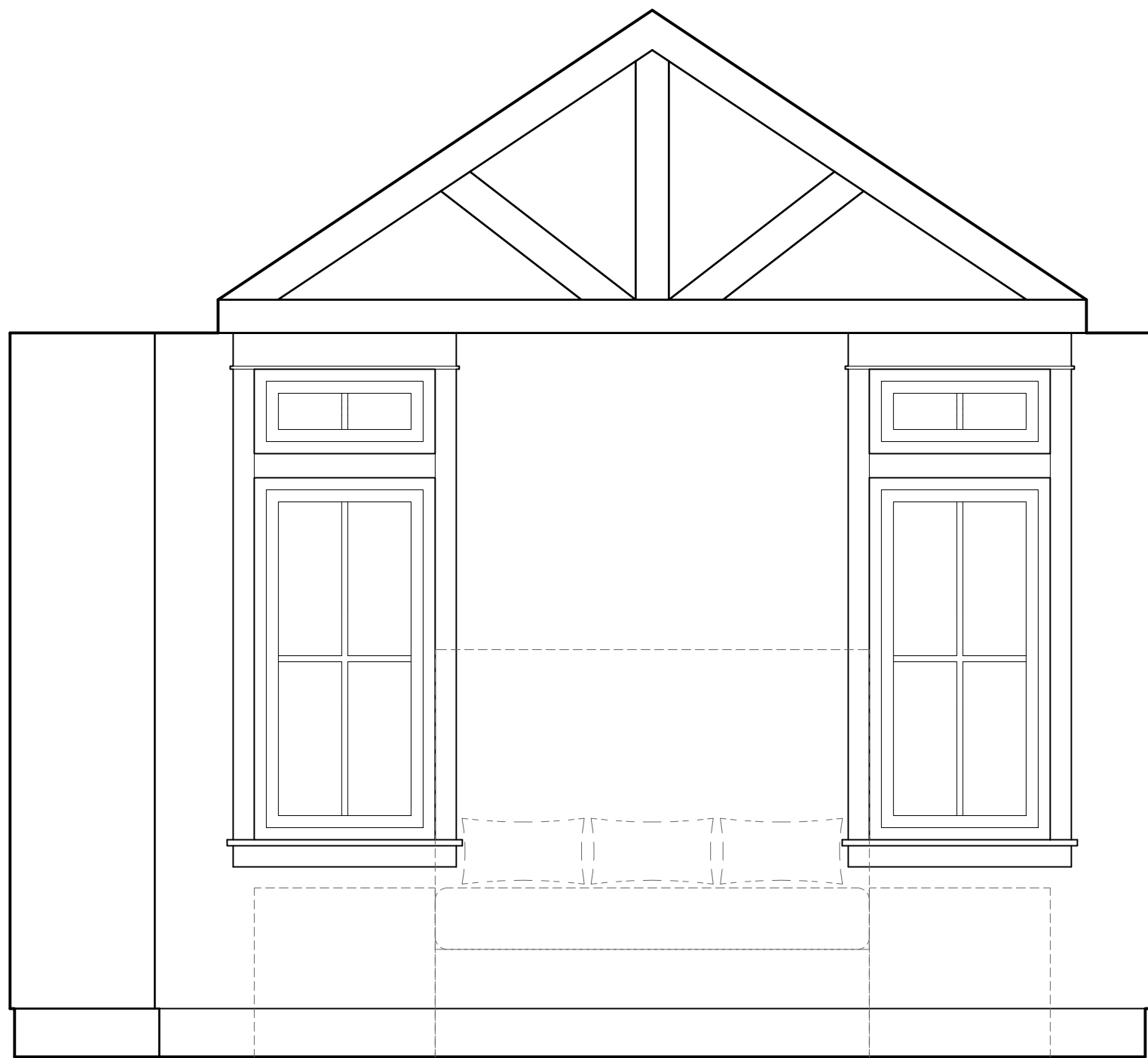
SHEET HISTORY

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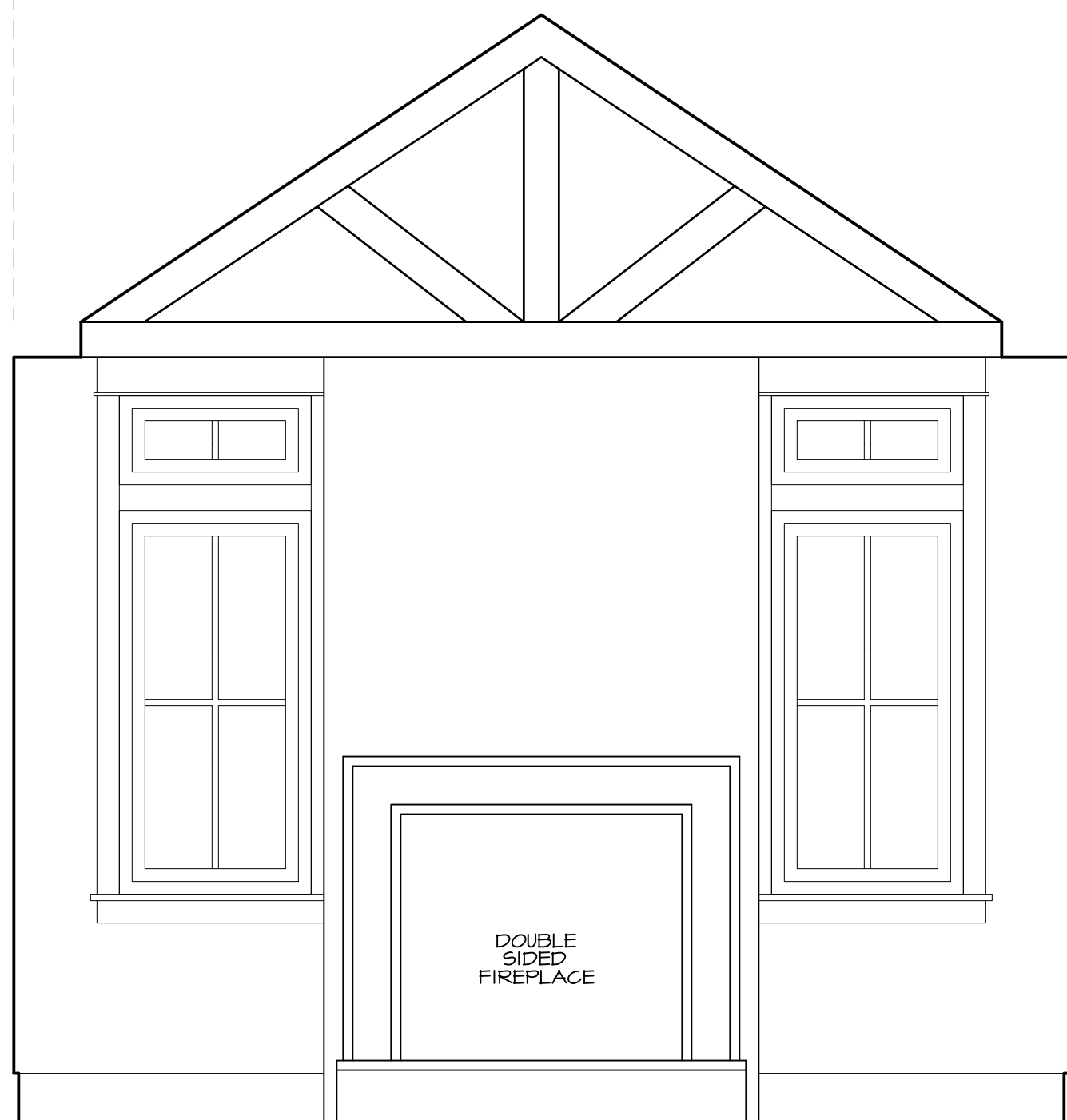
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Apr 22, 2026

SHEET

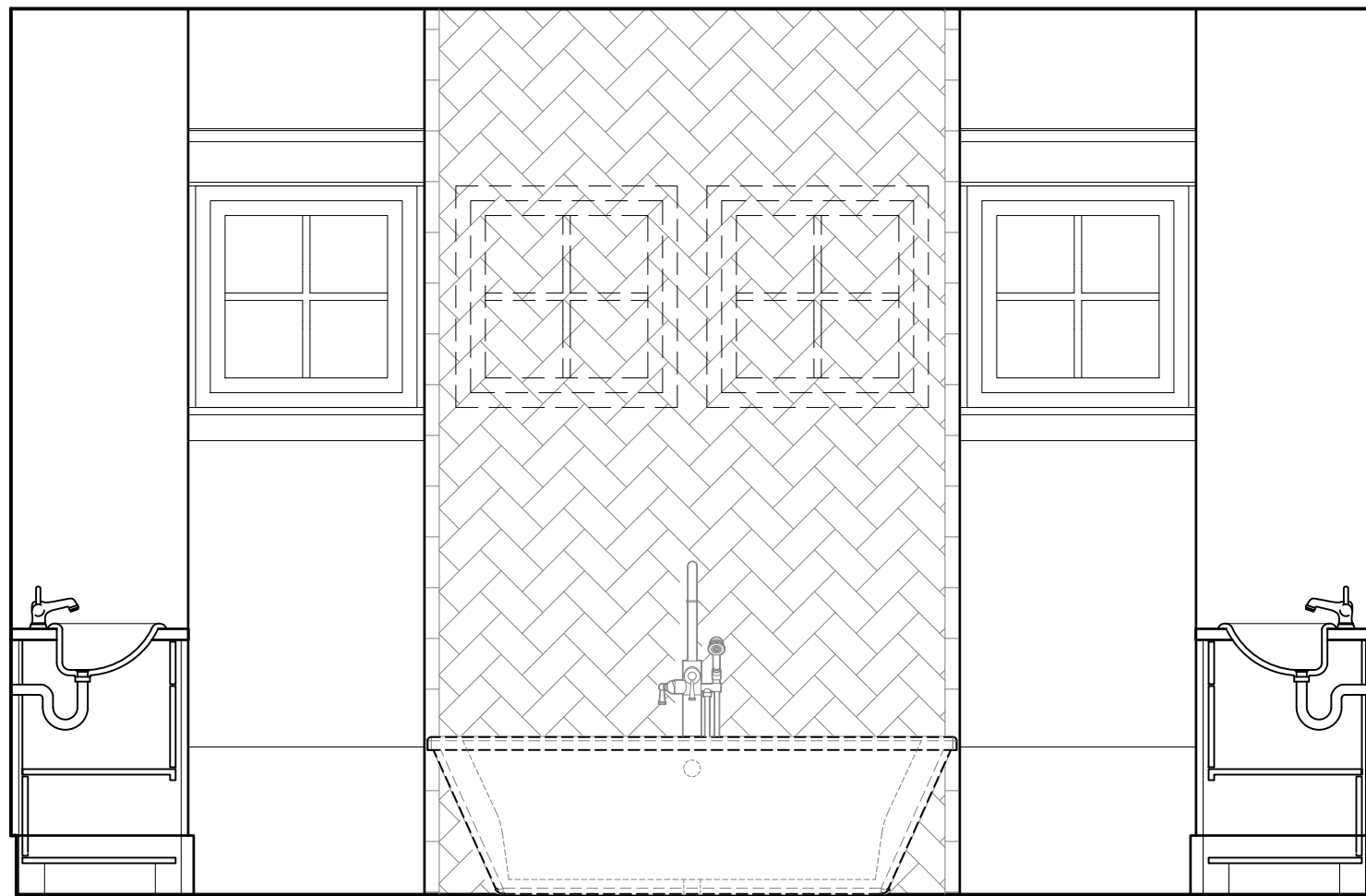
A-6.1
Interior Elevations



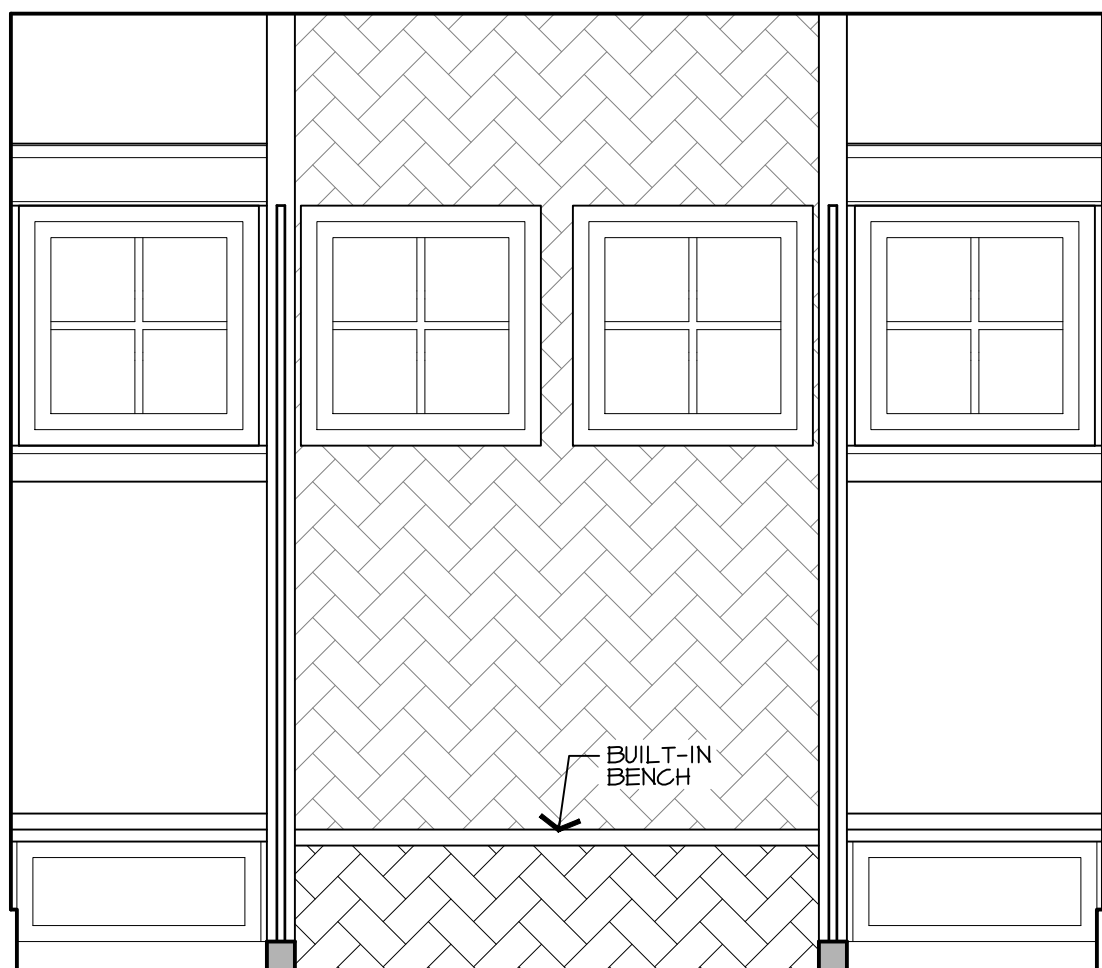
1 Bedroom 1
SCALE:SCALE 1/2" = 1'-0"



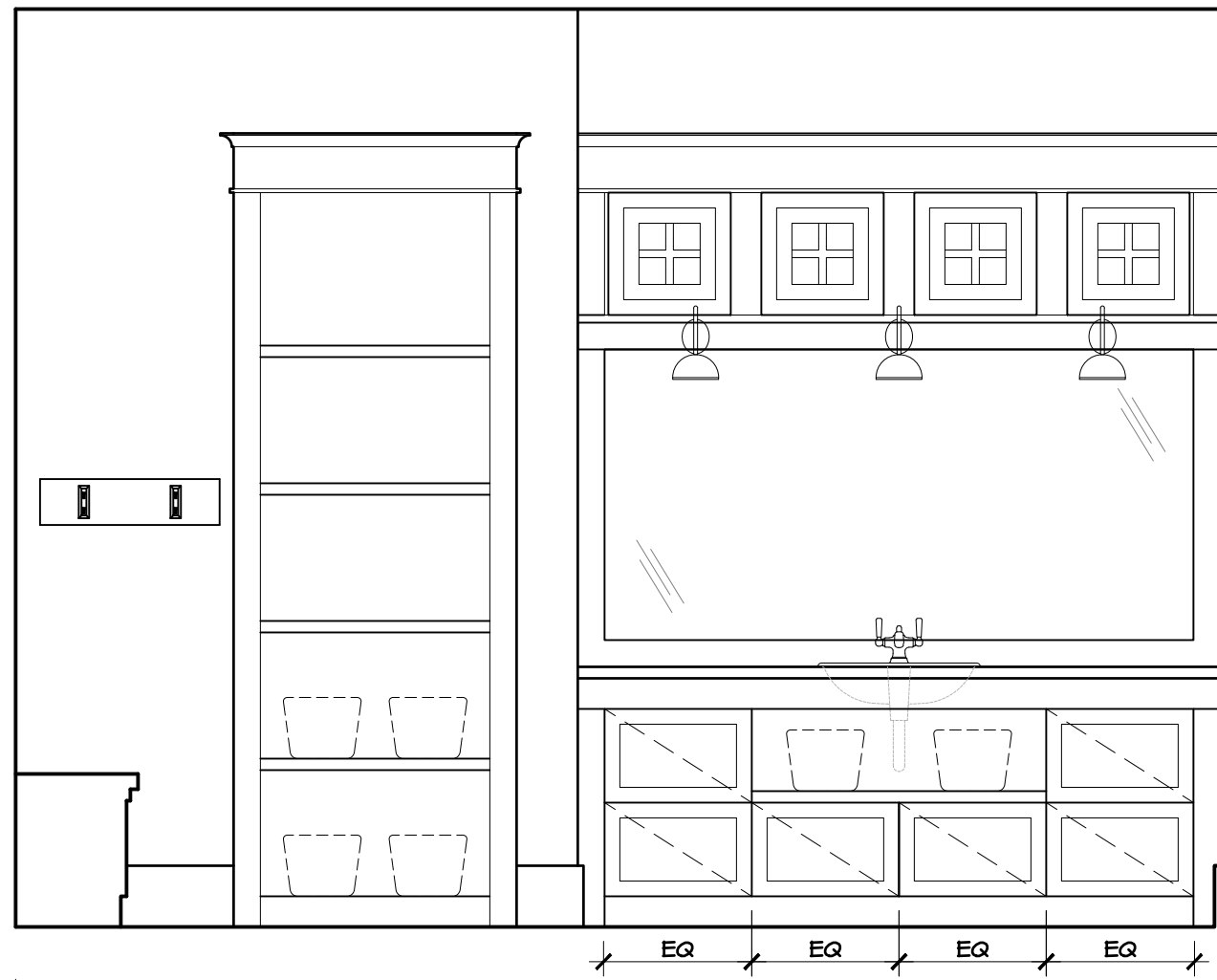
4 Bedroom 1 - Fireplace
SCALE:SCALE 1/2" = 1'-0"



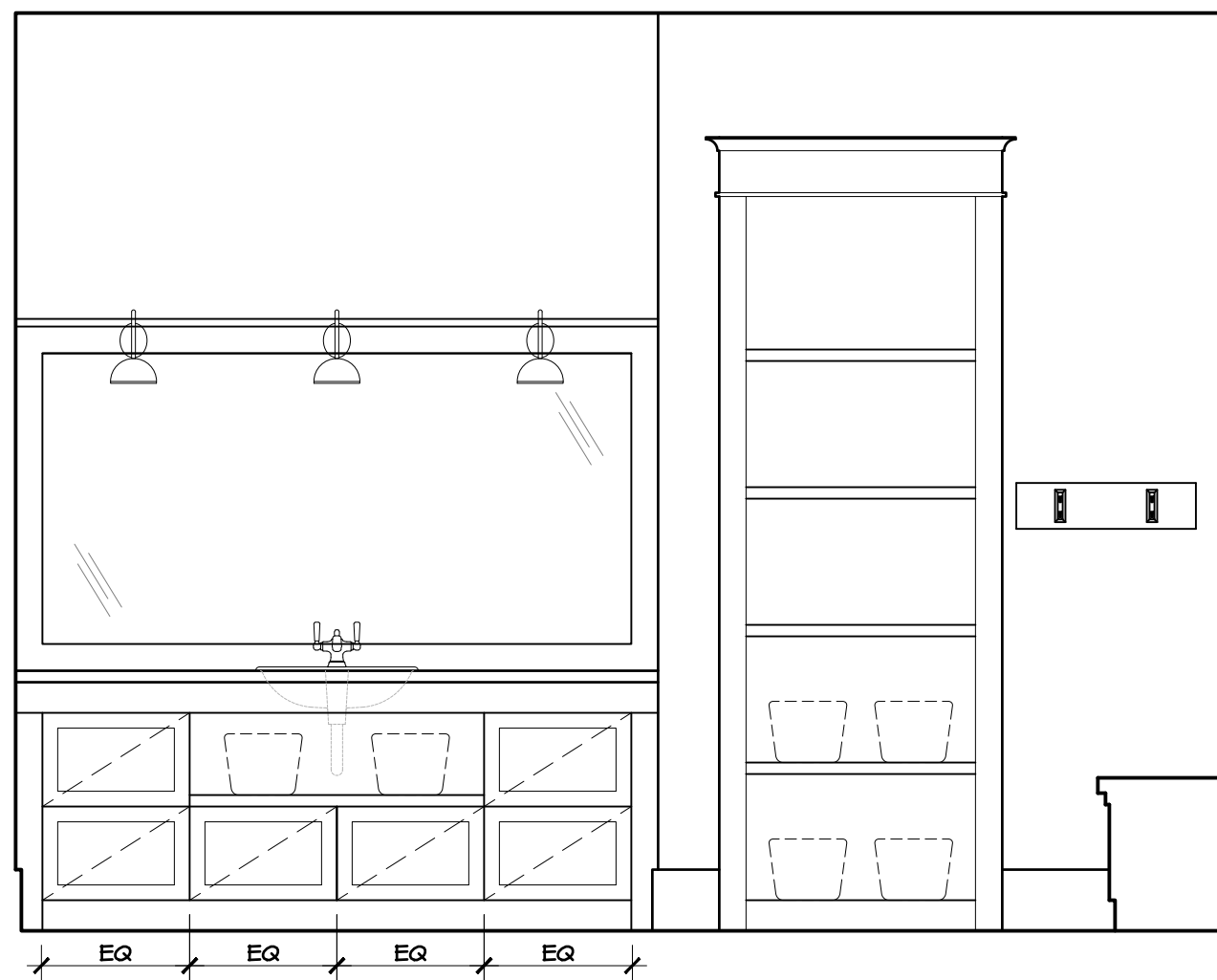
2 Bath 1 - Tub
SCALE:SCALE 1/2" = 1'-0"



5 Bath 1 - Shower
SCALE:SCALE 1/2" = 1'-0"



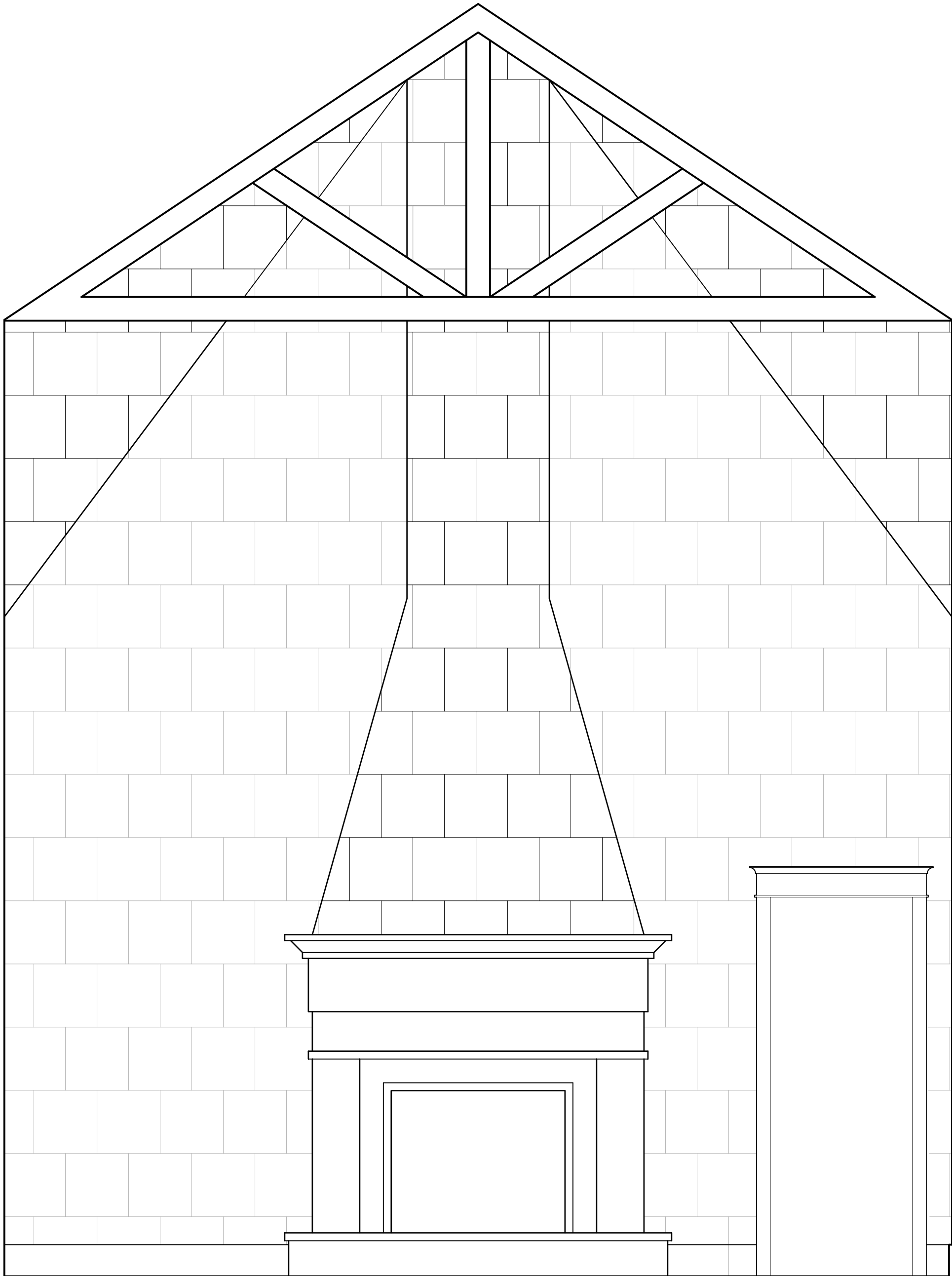
3 Bath 1 - Vanity
SCALE:SCALE 1/2" = 1'-0"



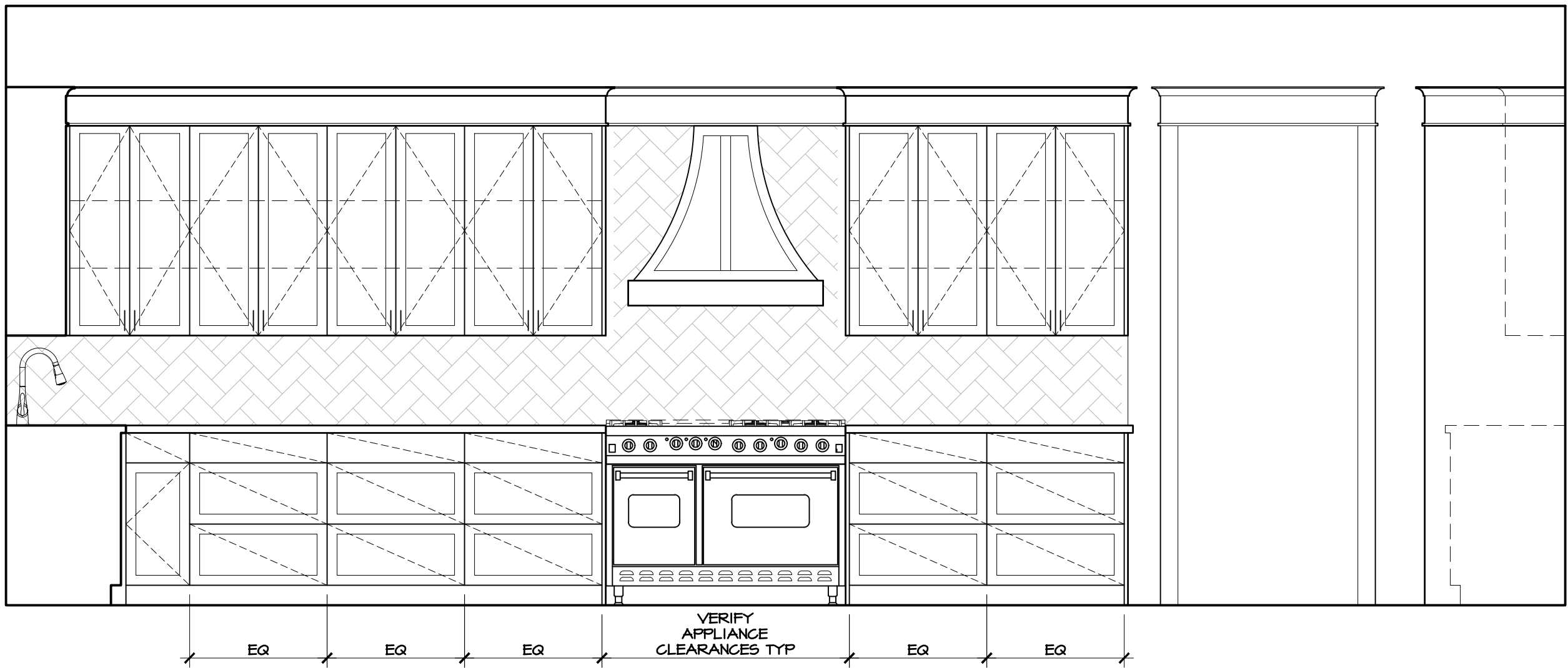
6 Bath 1 - Vanity
SCALE:SCALE 1/2" = 1'-0"

BORZA
RESIDENCE

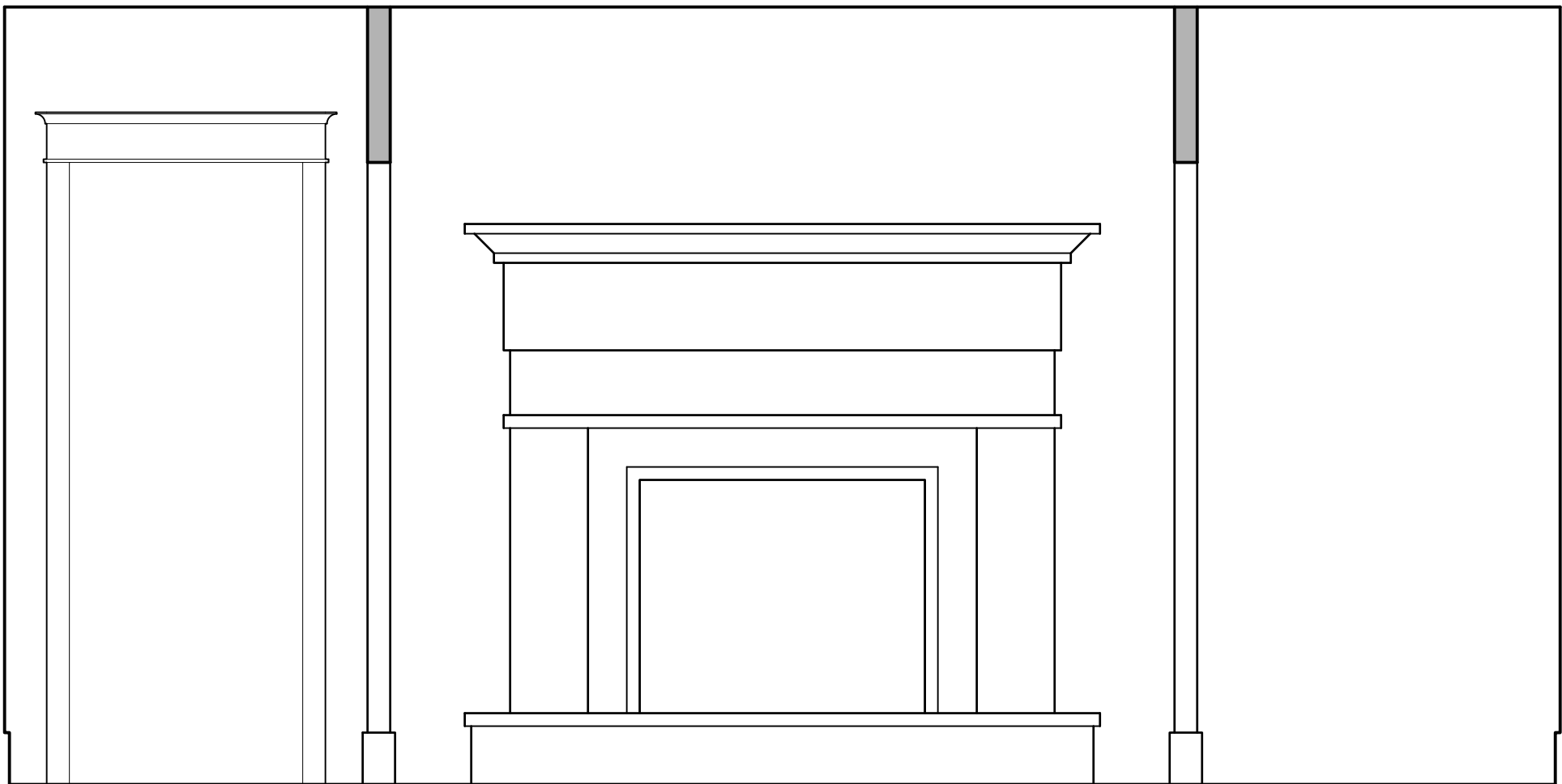
384 Curk Roberts Rd,
Braselfton, GA 30517



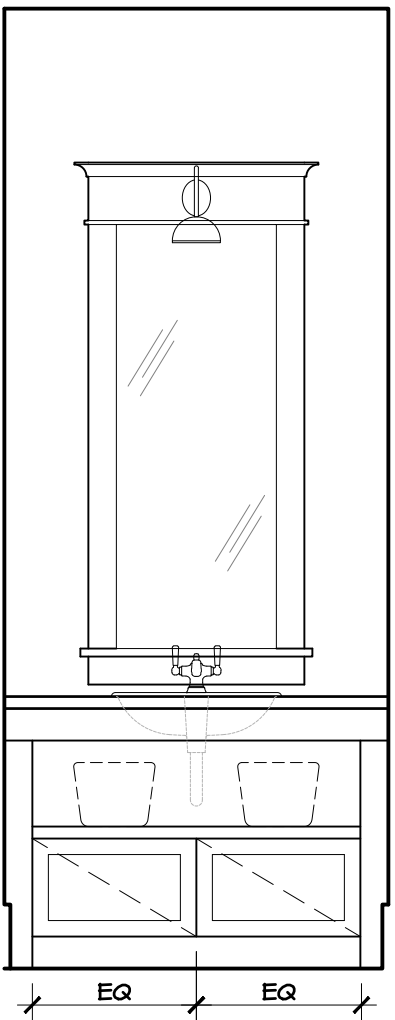
1 Great Room Fireplace
SCALE :SCALE 1/2" = 1'-0"



2 Ktchen - Range / Hood
SCALE :SCALE 1/2" = 1'-0"



3 Hall 1 Fireplace
SCALE :SCALE 1/2" = 1'-0"



4 Powder Room 1
SCALE :SCALE 1/2" = 1'-0"

SHEET HISTORY

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Apr 21, 2026

SHEET

BORZA
RESIDENCE

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Boswellton, GA 30517

SHEET HISTORY

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SHEET

GENERAL NOTES

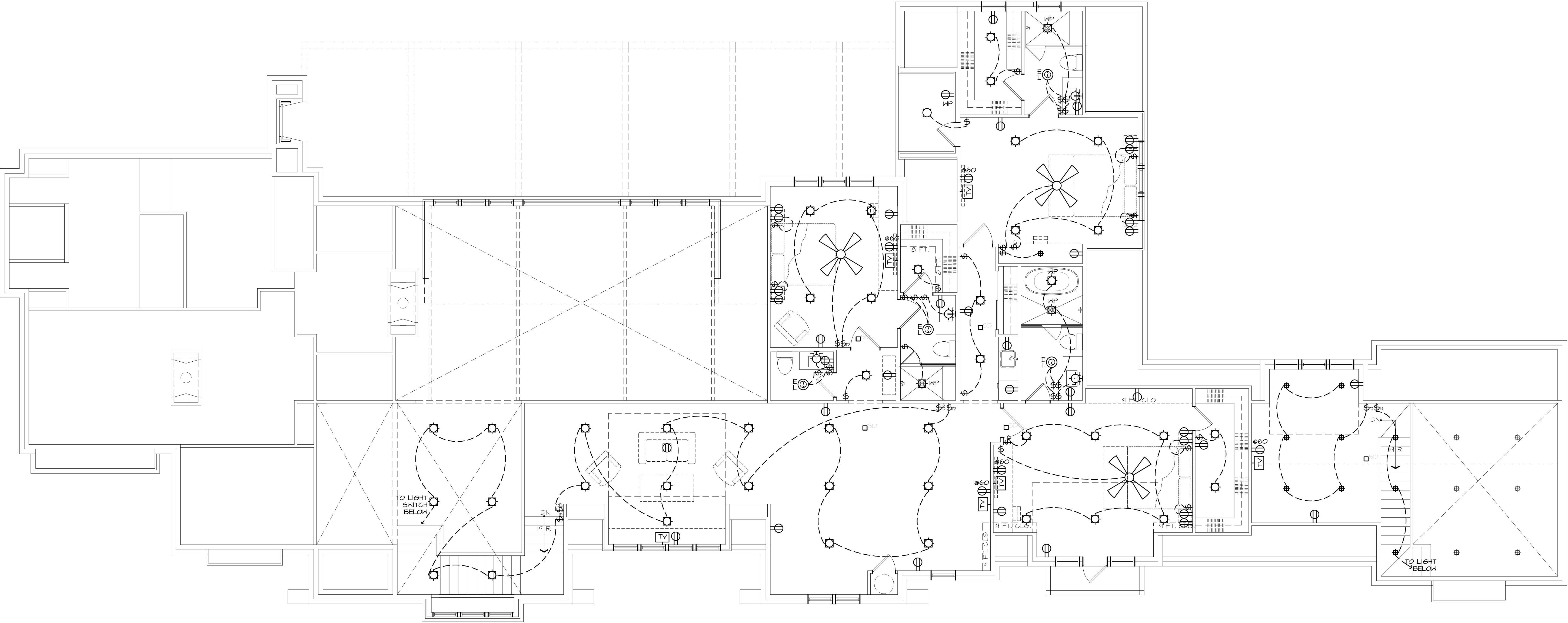
1. ALL WORK SHALL COMPLY WITH THE CURRENT NATIONAL ELECTRICAL CODE REGULATIONS. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON DRAWINGS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSPECTION AND APPROVAL OF WIRING, INSTALLATION OF FIXTURES AND EQUIPMENT, AND FOR FINAL ACCEPTANCE OF THE COMPLETE ELECTRICAL INSTALLATIONS BY THE UNDERWRITERS AND BY LOCAL ELECTRICAL INSPECTORS.
3. ELECTRICAL SUBCONTRACTOR TO MAKE ALL NECESSARY ELECTRICAL CONNECTIONS AND BE RESPONSIBLE FOR ALL ELECTRICAL SERVICE AT MECHANICAL ROOM. ELECTRICAL CONTRACTOR TO COORDINATE AS REQUIRED WITH MECHANICAL CONTRACTOR.
4. G.C. SHALL PROVIDE ELECTRICAL FOR A/G UNITS.
5. ALL FIXTURES TO BE SELECTED BY OWNER.
6. G.C. COORDINATE COMMUNICATION AND SECURITY SYSTEM REQUIREMENTS WITH OWNER. PRE-WIRE FOR SECURITY SYSTEM IF APPLICABLE.
7. DISHWASHER OUTLET BOX TO BE WALL MOUNTED BEHIND UNIT, 6" A.F.F.
8. G.C. VERIFY LOCATION & TYPE OF POWER TO APPLIANCES.
9. ELECTRICAL CONTRACTOR SHALL COORDINATE ELECTRICAL WORK WITH MILLWORK TO INSURE PROPER PLACEMENT OF OUTLETS, SWITCHES, PHONE JACKS, CATV OUTLETS, ETC.
10. PROVIDE BLOCKING FOR CEILING FANS WHERE APPLICABLE.
11. SMOKE DETECTORS SHALL BE HARDWIRED TO PRIMARY ELECTRICAL SERVICES WITH A BATTERY BACK-UP.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ELEC'L AND PLUMBING CONNECTIONS FOR KITCHEN EQUIPMENT.
13. GANG ALL SWITCHES AND OUTLETS WHERE POSSIBLE.
14. ALL SWITCHES TO BE MOUNTED 44" TO BOTTOM OF PLATE A.F.F. UNLESS OTHERWISE NOTED.
15. OUTLETS TO BE 15" A.F.F. UNLESS OTHERWISE NOTED. SPECIFY MOUNTING HEIGHTS ARE TO CENTER LINE OF OUTLETS.
16. MOUNT OUTLETS AT COUNTERTOP 2 INCHES ABOVE COUNTERTOP OR BACKPLASH.
17. ALL OUTLETS WITHIN 6FT. OF A WATER SOURCE SHALL BE ON A G.F.C.I. CIRCUIT. ADDITIONAL G.F.C.I. AS REQ'D BY CODE.

Electrical Legend

NOTE: NOT ALL SYMBOLS ARE USED ON PLAN

- RECESSED FLUSH FLOOR DUPLEX
- 110V DUPLEX RECEPTACLE
NP= WATER PROOF
- 220V RECEPTACLE
- SPECIAL PURPOSE OUTLET
G - GENERATOR
- E - EXHAUST
H - HEATER
L - LIGHT
- DISCONNECT SWITCH
- ELECTRICAL PANEL
- SMOKE DETECTOR W. ALARM
VERIFICATION WIRED & BATTERY
BACKUP
- SWITCH
- MOTION SENSOR SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
- 3-WAY DIMMER SWITCH
- 4-WAY SWITCH
- DOOR SWITCH
- COMBO OUTLET -CAT
5/CABLE/ SATELLITE
T.V./ PHONE

- 4" RECESSED DOWN LIGHT
- 3" ADJUSTABLE RECESSED LIGHT,
SHALLOW HOUSING
- ADJUSTABLE BULBET
- WALL WASH/ ART LIGHT
- SCONCE
- SURFACE MOUNTED
FIXTURE
- PENDANT FIXTURE
- JAR LIGHT
- WALL MOUNT ART LIGHT
- TRACK LIGHT
- CHANDELIER
- UNDER COUNTER LIGHT
- CEILING FAN



1 Second Floor Plan
SCALE : 3/16" = 1'-0"